

COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION

810 JASONWAY AVE., COLUMBUS, OHIO 43214

Design/Construction by:

SEGNA ASSOCIATES, INC.

ARCHITECT

BIRD & BULL, LTD

CIVIL/SITE COMPLIANCE

PRATER ENGINEERING ASSOC., INC.

PLUMBING, HVAC, ELECTRICAL

GENESIS PLANNING & DESIGN

INTERIOR PLANNING/DESIGN

WALTERS & ASSOCIATES

STRUCTURAL

LEHMAN DAMAN CONSTRUCTION SERVICES

GENERAL CONTRACTOR

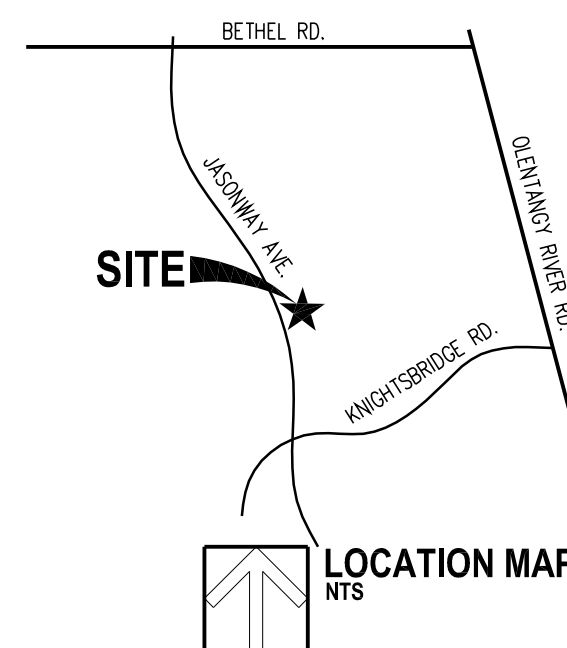


781 northwest boulevard
columbus, ohio 43212

phone: 614 • 291 • 7810

ISSUE:
CD Progress

DATE:
21 JAN 2020



SCHEDULE OF DRAWINGS

CS1	COVER SHEET-ZONING AND BLDG CODE INFO/LOCATION MAP	FP300	FIRE PROTECTION NOTES/EQUIPMENT/DETAIL
1	FINAL SITE COMPLIANCE PLAN	P100	PLBG DEMO PLAN
2	SITE CPD TEXT	P200	FIRST FLR PLBG PLAN
3	SITE DEMO PLAN	P300	FIXTURE SCHEDULE/GENERAL NOTES
4	SITE GRADING PLAN	H100	FIRST FLR HVAC DEMO & FLR PLAN
5	SITE DIMENSION PLAN	H200	FIRST FLR ADDITION HVAC FLR & ROOF PLAN
		H300	HVAC EQUIPMENT SCHEDULES/DETAILS/NOTES
A1.0	EXSTG/ADDITION OVERALL 1ST LEVEL BLDG PLAN	E100	FIRST FLR POWER DEMO PLAN
A1.1	EXSTG/ADDITION OVERALL 2ND LEVEL PLAN	E150	FIRST FLR LIGHTING DEMO PLAN
A1.2	CONSTRUCTION SPECIFICATIONS	E200	FIRST FLR POWER PLAN
A2.0	AREA OF WORK DEMO FLOOR PLAN	E250	FIRST FLR LIGHTING PLAN
A2.1	AREA OF WORK FLOOR PLAN	E300	LIGHTING FIXTURE SCHEDULE/DETAILS/NOTES
A2.2	AREA OF WORK ROOF PLAN	E301	ONE LINE DIAGRAM/PANEL SCHEDULES
A2.3	EXISTING & DEMO CLG PLAN		
A2.4	NEW CLG PLAN		
A3.0	EXTERIOR ELEVATIONS OF ADDITION		
A4.0	BLDG EAST/WEST CROSS SECTION		
A4.1	BLDG NORTH/SOUTH CROSS SECTION		
A5.0	INTERIOR ELEV & DETAILS		
A5.1	DOOR SCHEDULE/ACCESSIBILITY INFO		
A5.2	FINISH SCHEDULE		
S0.01	STRUCTURAL GEN NOTES		
S0.02	STRUCTURAL GEN NOTES		
S0.03	STRUCTURAL DETAILS		
S1.11	FOUNDATION PLAN/NOTES		
S1.21	ROOF FRAMING PLAN/NOTES		
S2.01	STRUCTURAL DETAILS		
S2.02	STRUCTURAL DETAILS		
S2.03	STRUCTURAL DETAILS		

COLUMBUS ZONING CODE

PROPERTY IS ZONED CPD COMMERCIAL PLANNED DEVELOPMENT (CASE 284-138). THE PROPOSED BUSINESS USE IS PERMITTED PER THE CPD REGULATIONS AND APPROVAL SECURED 11 JULY 2019 FROM CITY OF COLUMBUS DEVELOPMENT COMMISSION.

2017 OHIO BUILDING CODE

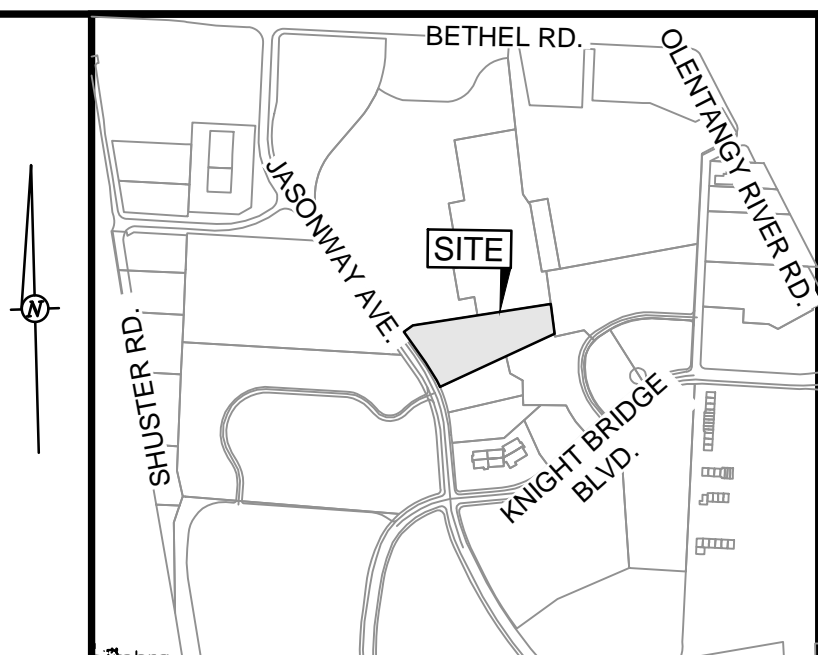
SCOPE OF WORK PROGRAM: CONSTRUCT A NEW BUILDING ADDITION TO ACCOMMODATE NEW LAB AREA.

REFERENCE	TITLE	STATUS	REMARKS
SECTION: 304	304.1 BUSINESS GROUP B	B	USE IS PRIMARILY MEDICAL OFFICE/OUTPATIENCE CLINIC
SECTION: 504	504.3 HEIGHT	PERMITTED B (S) (16)- 60 FT	ADDITION HGT 17.33 FT & EXISTING LESS THA 60 FT-COMPLIANT
	504.4 NUMBER STORIES	PERMITTED B (S) (16)- 3 STORIES	ADDITION 1 STORY & EXISTING BLDG 2 STORIES-COMPLIANT
SECTION: 506	TABLE 506.2 ALLOWABLE AREA	B (SM) (16) ALLOWABLE 27,000SF	ADDITION AREA 821SF & EXISTING BLDG AREA 31,267 SF-TOTAL 32,079 SF
	TABLE 506.3 FRONTAGE INCREASE	CALCULATED PER EQUATION ALLOWABLE BLDG AREA	FRONTAGE INCREASE PERMITTED 73.67% OR 19,891SF ALLOWABLE 27,000SF + FRONTAGE INCREASE 19,891 SF-TOTAL 46,891 SF EXISTING AREA 31,267 + ADDITION 812-TOTAL 32,079 SF-COMPLIANT
SECTION: 602	606.5 TYPE V	V-B (COMBUSTIBLE)	EXISTING & NEW METAL WALL FRAME SYSTEM WITH WOOD ROOFING-COMPLIANT
	TABLE 601 BLDG ELEMENT FIRE RATING	ALL ELEMENTS 0 RATING	EXISTING & NEW AND ELEMENTS FIRE RATED OR PROTECTED-COMPLIANT
	TABLE 602 FIRE SEPARATION DIST	>30 (UP) / VD <40 HR RATING	0 RATING FOR EXT WALLS FIRE SEPARATION GREATER THAN 30 FT-COMPLIANT
SECTION: 705	TABLE 705.8 EXT OPNG/FIRE FINISH	>30 (UP/S) NO LIMIT	0 RATING FOR EXT WALL OPENINGS
SECTION: 803	TABLE 803.11 INT WALL CLG FINISH	STAIRWAY-CLASS B CORRIDORS-CLASS C ROOMS-CLASS C	WALL AND CEILING-COMPLIANT
SECTION: 804	TABLE 804.2 EXCEPTION	S-COMPLY WITH ASTM D 2899	FLOOR FINISH TO MEET ASTM D2899-COMPLIANT
SECTION: 903	903.2.9 GROUP B	USE B SPRINKLER NOT REQUIRED	NFPA 13 PER 903.3.1.1 SYSTEM EXIST & NEW TO BE SPRINKLERED-COMPLIANT
SECTION: 906	TABLES 906.3(1) & 906.3(2)	LIGHT(LOW) HAZARD	2A/10BC UNITS PROVIDED-COMPLIANT
SECTION: 907	907.2.2 FIRE ALARM/DETECTION GROUP B	NO SYSTEM REQUIRED	SYSTEM EXIST AND PROVIDED
SECTION: 1004	1004.1.2 OCCUPANT LOAD	OCCUPANTS B 1/100 SF GROSS	EXISTING OCCUPANCY 28,690 SF / 100 SF=287 PERSONS ADDITION OCCUPANCY 812 SF / 100 SF=8 PERSONS TOTAL OCCUPANCY=296 PERSONS
SECTION: 1005	1005.3.1 STAIRWAY EGRESS	REQUIRED 0.2/PERSON	EXISTING 2ND LEVEL OCCUPANCY 7,914SF/100SF=80 PERSONS EXISTING REQUIRED 80 X,15=45' EXISTING PROVIDED 12'-COMPLIANT
	1005.3.2 OTHER EGRESS	REQUIRED 0.15/PERSON	EXISTING OCCUPANCY & NEW 29,502SF/100SF=296-COMPLIANT EXISTING REQUIRED 295 X,15=45' EXISTING PROVIDED 252'-COMPLIANT
SECTION: 1007	1007.1.1 TWO EXIT OR EXIT ACCESS DOORWAYS	TWO EXITS REQUIRED REMOTENESS GREATER THAN HALF DIAGONAL	2ND LEVEL THERE ARE 3 EXITS WITH REMOTENESS-COMPLIANT 1ST LEVEL THERE ARE 7 EXITS WITH REMOTENESS-COMPLIANT
SECTION:1009	1009.1 ACCESSIBLE EGRESS	REQUIRED	BLDG ACCESSIBLE EGRESS EXIST AND PROVIDED-COMPLIANT
SECTION:1010	1010.1.10 PANIC & FIRE EXIT HARDWARE	REQUIRED	ALL EXISTING EXIT DOORS HAVE PANIC TYPE HARDWARE-COMPLIANT
SECTION:1017	TABLE:1017.2 EXIT TRAVEL DISTANCE	B (S)-250 FT PERMITTED	EXIT TRAVEL DISTANCE IN EXISTING AND NEW AREAS LESS THAN 250 FT-COMPLIANT
SECTION:1024	TABLE:1024 WIDTH	MIN WIDTH REQUIRED 44"	EXIT PASSAGEWAY(S) EXISTING & NEW ARE 44"-COMPLIANT
SECTION:1003	1103.1 WHERE REQUIRED	ACCESSIBILITY REQUIRED	ACCESSIBILITY PROVIDED IN EXISTING AND NEW-COMPLIANT
SECTION: 2902	TABLE 2902.1 NUMBER OF FIXTURES	WC-150 OCCUPANTS LAV-150 OCCUPANTS OF-1100 OCCUPANTS SERV SINK-1 PER FACILITY	OCCUPANCY 296 WC 296/150=2 UNITS-PROVIDED 11-COMPLIANT LAV 296/150=2 UNITS-PROVIDED 11-COMPLIANT OF 296/1100=3 UNITS-PROVIDED 3-COMPLIANT SERV SINK 1 UNIT REQUIRED-PROVIDED 1-COMPLIANT
	TABLE 2902.3 EMPLOYEE & PUBLIC TOILETS	REQUIRED	INCLUDED IN FIXTURE COUNT-COMPLIANT
SECTION: 3403	3403.1 GENERAL-ADDITIONS	COMPLY TO CODE	ADDITION COMPLIANT TO NEW PER CODE: EXISTING & NEW TOGETHER COMPLIANT
OPC: CHPTR 4	410.4 DRINKING FOUNTAIN SUBSTITUTION	POTABLE WATER DISPENSER REQUIRED	DRINKING FOUNTAIN SUBSTITUTION IS A WATER DISPENSER WHICH IS PROVIDED IN THE FACILITY AT VARIOUS LOCATIONS

SPRINKLER / FIRE ALARM SYSTEMS

SCOPE OF WORK PROGRAM: A SPRINKLER AND FIRE ALARM SYSTEM EXIST AND NEW ADDITIN TO BE ADDED TO THE BUILDING SYSTEM.

SITE COMPLIANCE PLAN FOR 810 JASONWAY AVENUE COLUMBUS, OHIO 43214 2019



INDEX OF SHEETS

- 1 FINAL SITE COMPLIANCE PLAN
- 2 CPD TEXT
- 3 DEMO PLAN
- 4 GRADING PLAN
- 5 DIMENSION PLAN

SITE DEVELOPMENT INFORMATION

ZONING:

PROPERTY OWNER: COLUMBUS ONCOLOGY
 PROPERTY USE: MEDICAL OFFICE BUILDING
 SITE ACREAGE: 2.38 AC.
 EXISTING ZONING: CPD, COMMERCIAL, H-35

ADJACENT ZONING NORTH: CPD, COMMERCIAL, H-35
 ADJACENT ZONING SOUTH: CPD, COMMERCIAL, H-35
 ADJACENT ZONING EAST: CPD, COMMERCIAL, H-35
 ADJACENT ZONING WEST: LM2, MANUFACTURING, H-35 & AR12, MULTI-FAMILY, H-35

BUILDING DATA:

EXISTING BUILDING AREA: 29,479± S.F.
 PROPOSED EXPANSION: 820± S.F.
 PROPOSED BUILDING HEIGHT: 32' Feet

SITE DATA TABLE:

TOTAL DISTURBED AREA: 1622± S.F.
 PRE-DEVELOPED IMPERVIOUS AREA: 1219± S.F.
 POST-DEVELOPED IMPERVIOUS AREA: 1137± S.F.
 INCREASE IN IMPERVIOUS AREA: -82± S.F.

LEGEND

- PROPOSED BUILDING EXPANSION
- EXISTING PARKING LOT PONDING AREAS (PER PLAN CC-09970)
- CLEAR VISION TRIANGLE (10' x 10')
- EXISTING SHADE TREE
- EXISTING LIGHT POLE

ENGINEER/SURVEYOR

BIRD + BULL, INC.
 3500 SNOUFFER ROAD, STE. 225
 COLUMBUS, OHIO 43235
 PHONE: 614-761-1661
 FAX: 614-761-1328
 CONTACT: ANDREW GARDNER, P.E.
 E-MAIL: AGARDNER@BIRDBULL.COM

ARCHITECT

GENESIS PLANNING & DESIGN
 300 EAST BROAD STREET, STE. 700
 COLUMBUS, OHIO 43215
 PHONE: 614-926-1191
 CONTACT: JIM MARTIN
 E-MAIL: JMARTIN@GENESISPLANNINGDESIGN.COM

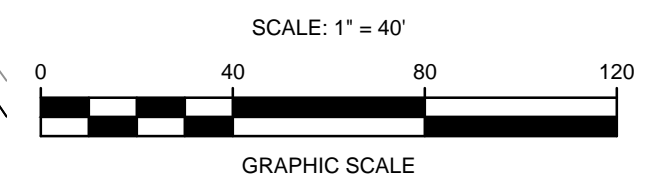
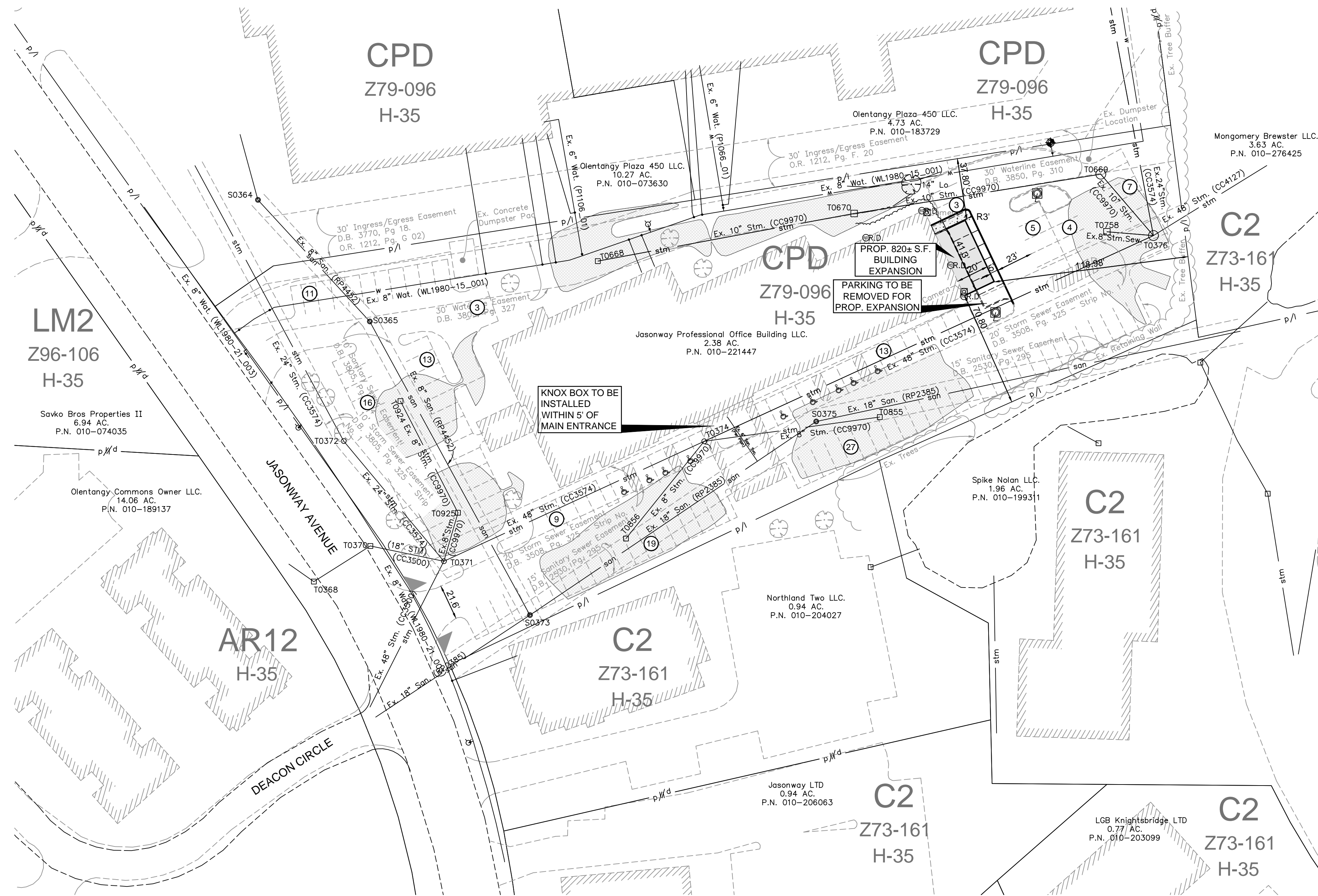
OWNER

COLUMBUS ONCOLOGY AND HEMATOLOGY ASSOCIATES
 810 JASONWAY AVENUE, STE. A
 COLUMBUS, OHIO 43214
 PHONE: 614-442-3130
 FAX: 614-442-3150
 CONTACT: DEBORAH WESTKAMP
 EMAIL: DWESTKAMP@COA.INC

I HEREBY CERTIFY THAT THE BUILDING AND SITE COMPLIANCE PLAN SHEETS MEET ALL REQUIRED CPD TEXTS AND DEVELOPMENT STANDARDS.

ANDREW A GARDNER - OHIO ENGINEER NO. E-68659 DATE:

THIS SITE PLAN IS VALID FOR (1) YEAR FROM DATE OF APPROVAL



PARKING CALCULATIONS					
AREA	BUILDING (S.F.)	MIN. PARKING REQUIRED*	MAX. PARKING REQUIRED*	PARKING PROVIDED	RATIO
EX. MEDICAL BUILDING	29,479±	99 PER CODE	148 PER CODE	136	4.61 per 1000, 1/217
PROP. MEDICAL BUILDING	30,299±	101 PER CODE	152 PER CODE	130	4.29 per 1000, 1/233

MEDICAL OFFICE - MINIMUM ONE SPACE (1) PER 300 S.F.
 MAXIMUM ONE SPACE (1) PER 200 S.F.

NOTE:
 KNOX BOXES ARE TO BE INSTALLED ON BUILDING WITHIN 5' OF MAIN ENTRANCE AND AT BUILDING SIAMESE CONNECTION PER COLUMBUS DIVISION OF FIRE SPECIFICATIONS.

NOTE:
 THERE ARE NO NEW DUMPSTERS PROPOSED AS PART OF THIS PROJECT. THE LOCATION OF THE EXISTING DUMPSTER HAS BEEN SHOWN ON THE SITE PLAN.

FLOOD ZONE:
 PROPERTY IS WITHIN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) PER FLOOD INSURANCE RATE MAP, PANEL 166 OF 465, FRANKLIN COUNTY, OHIO AND INCORPORATED AREAS, MAP NO. 39049C0166 K (MAP REVISED DATE: JUNE 17, 2008).

- E-STREET CONSTRUCTION PLAN. THE CONSTRUCTION AGREEMENT, SURETY AND INSPECTION FEE MUST BE TAKEN CARE OF BEFORE A BUILDING PERMIT WILL BE ISSUED.
- PERMIT FOR STREET EXCAVATION / OCCUPANCY
- CC-STORM WATER PLAN
- CC-SANITARY SEWER PLAN
- SANITARY SEWER TAP PERMIT
- WATER SERVICE PLAN
- EASEMENTS FOR UTILITIES AND / OR SIDEWALKS
- LOT SPLIT
- LOT COMBINATION
- ZONING VARIANCE
- OTHER _____

NUMBER	DATE	REVISION DESCRIPTION



PROPOSED BUILDING EXPANSION
 810 JASONWAY AVENUE
 COLUMBUS, OHIO 43214

FINAL SITE COMPLIANCE PLAN

SCALE: 1" = 40'	JOB NO. 19-161	1
DWN:RJ	CKD:AAG	DATE: 12/16/2019

ORIG. SHT. SZ. 22" x 34"
 H:\Jobs\2019\161\CADD\DWG\Design\Construction\Construction\SC-CP.dwg 12/16/2019

PROPOSED DEVELOPMENT STANDARDS
CPD REZONING
OLENTANGY PLAZA SHOPPING CENTER

Applicant: Olentangy Development Corporation
Developer: Linclay Corporation of Cincinnati
Location: Bethel Road west of Olentangy River Road, adjacent to existing K-Mart store.
Present Zoning: C-4 14+ acres
C-2 7+ acres
Proposed Rezoning: C.P.D. 21+ acres

OVERALL CONCEPT

The proposed development, Olentangy Plaza Shopping Center, has been designed to combine the desired commercial use of the land and yet provide those aesthetically pleasing features which will enhance the center and the area.

The project will be planned in an "L" shape to physically contain the commercial land use to the area east of the proposed Jasonway Avp. extension to Bethel Road.

ALLOWABLE USES

All commercial uses presently defined in the existing C-4 and C-2 zoning districts shall be allowed. Lot coverage for this project shall not be restricted except as provided in the existing C-4 zoning district, subject to the general site configuration shown on the CPD map.

TRAFFIC

Curb cuts to the center shall be restricted to three cuts along Bethel

11/7/79 (1) 279-096 (5)
rev. 12/13/79

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Road and four along Jasonway. The major entry will combine access to the site with the westerly entrance of the K-Mart property. This entrance will be controlled with an approved traffic signal allowing left turn into and from the tract (s). A left turn lane will be provided on Bethel Road. An additional entrance allowing left turns in and out will also be made approximately 350 feet west of the signalized intersection. This cut and the signalized entrance will also provide the access to the proposed out-parcels along Bethel Road.

The third entrance along Bethel Road shall be approximately 250 feet east of the Jasonway Avenue intersection. This cut will be restricted to right turns in and right turns out only.

Four cuts will be made along Jasonway to allow free customer traffic flow into the center and to provide the required access to the service and delivery areas. Jasonway Avenue shall be designed to provide four lanes within 250' of the intersection of Bethel Road and shall be divided by a four foot median strip.

ENVIRONMENTAL TREATMENT

Environmental features have been planned along Jasonway Avenue to effectively screen the center from the roadway. More specifically, the developer will provide mounding where topography allows and a line of 5' evergreen trees spaced at 5'-8' intervals within the approved set backs.

Along the Bethel Road frontage a 40 foot green strip will be provided utilizing low mounding and landscaping clusters designed to provide the desired landscaped treatment but not to restrict the center's visibility.

(2) 279-096 (6)

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A landscaping and screening plan will be developed in conjunction with the planning Division of the Department of Development.

SIGNAGE

All signage will conform to the City of Columbus Graphics Code for C-4 zoning districts, but project identification signs shall be limited to two ground signs; one each at the main entrances to the center on Bethel Road.

BUILDINGS

As presently designed the proposed center will contain a maximum of 235,000 square feet of gross building area. In addition, two out-parcels presently planned will contain individual commercial buildings with uses conforming to those specified in the Columbus C-4 zoning district subject to the general site configuration shown on the CPD map. These buildings may be designed to accommodate one or more commercial users. Final building sizes and configurations to be determined.

PARKING

Based upon the preliminary plan, the site will provide parking ratio's which exceed those standards required (1 per 400 s.f.) under the commercial zoning district code for the City of Columbus. Space will be provided for more than 850 cars.

While the applicant for this rezoning agrees to the planned development concept and environmental treatments, the applicant reserves the right under the Columbus Commercial Planned Development district code to revise, realign, and otherwise modify the plan, so long as the general concept does not materially vary.

(3) 279-096 (8)

SEP-25-2007 09:41 FROM: 10:913306668812 P:17-13



The City of Columbus
Mayor Tom Mooney
Department of Development
140 Marconi Boulevard
Columbus, Ohio 43215

Director N. Jack Huddle
614-222-7763

SUMMARY OF PUBLIC HEARING
CITY OF COLUMBUS DEVELOPMENT COMMISSION
DATE: NOVEMBER 8, 1979 TIME: 6:00PM
PLACE: CITY COUNCIL CHAMBERS, 90 WEST BROAD STREET

Development Commission Members present: Chairman Paul Young, Mr. Tom Anders, Mr. Tom Berry, Mr. Tom DeVoe, Mr. James Feibel, Mr. William Saxton and Ms. Jane Young.
Department of Development, Division of Planning Staff present: Messrs. Tom Kipp and Roy Briegel.

Division of Traffic Engineering & Parking Staff present: Mr. Gary Palatas.

Secretary to the Commission: Ms. Lin Newburgh.

Rezoning Application: 279-096
Location: A 21+ acre tract located on the southeast corner of Bethel Road and relocated Jasonway Avenue
Existing Zoning: C-2 & C-4, Commercial Districts
Request: CPD, Commercial Planned Development District
Proposed Use: Commercial Development
Applicant: Olentangy Development Co., by Alan S. Wernick, 6079 Northgate Road
Property Owner: The Applicant

Mr. Tom Kipp gave this presentation locating the subject tract on aerial slides. He stated that the revised plan seems to satisfy staff's initial concerns. If a closer review showed conditions had been met, staff's would recommend for approval.

Mr. Robert Cochran, representing the Linclay Corp., showed boards and explained the proposed development. He pointed out the two planned curb cuts on Bethel Road and noted that they would be right turn in and out. He said that the main entry would be at a signalized intersection, that parking for 945 cars would be provided (550+ are required by Code), and showed traffic circulation patterns.

Mr. Palatas said that he had not reviewed the revised text and would have to reserve comment. He did, however, note that any signal would be an addition, not a replacement of an existing.

Mr. Young asked why the revised text had not been submitted in time for staff review. Mr. Kipp indicated that he felt staff and the applicant were close enough to agreement to consider the application at this time.

Mr. Bob Yarrington, a Bethel Road property owner, asked what uses would be permitted in the CPD development. Mr. Cochran replied that the uses would be those permitted in C-4.

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279-096

- The signage section in the text should be amended to indicate that a maximum of 2 ground signs would be located on the subject site to identify the shopping center.
- Landscaping along Jasonway Avenue shall consist of heavy evergreen planting on an earth berm (minimum height of the berm to be 2') with a minimum tree height of 5' at installation and a maximum distance between trees of 6 to 7' on center.
- Landscaping along Bethel Road shall consist of treatment of at least 50% of the frontage and consist of a 40' setback which includes an earth berm a minimum of 3' in height landscaped and planted with trees.
- The distance between the landscaped berm along Jasonway Avenue and the major commercial buildings proposed should be increased to permit minimum acceptable loading spaces for delivery trucks (normally 50').
- The layout of the southeastern-most portion of the parking lot should be altered to close the north-south aisle at its southern end, thereby minimizing traffic conflicts and potential hazards.
- The sections on "Allowable Uses" and "Buildings" in the CPD Text should be amended to read as stated plus "subject to the general site configuration shown on the CPD Map."
- In addition, staff would suggest that the applicant consider the following changes or additions:
 - Realign the main east-west driveway in front of the southern tier of stores to line up with the driveway in front of the existing discount department store to the east.
 - Move the southern row of stores northward to align with the building setback line of the existing store to the east.
 - Landscaping parking islands, dividers, and end caps with raised curbs and low evergreen plantings, with small trees to be planted in the major islands.
- The Division of Traffic Engineering was in the process of reviewing applicant's CPD plan at the time this report was being prepared, but will make comments at the Development Commission hearing.
- The Division of Planning recommends disapproval of the existing application, but would support the proposed CPD zoning subject to receipt of an amended CPD map and text showing the six requirements listed in Comment #4 above.

Enclosures: 1. Zoning Map
2. Applicant's CPD Map and Text

RR/hle
10/9/79

279-096 (2)

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SUMMARY OF PUBLIC HEARING
CITY OF COLUMBUS DEVELOPMENT COMMISSION
NOVEMBER 8, 1979
PAGE 2 of 2

Rezoning Application: 279-096 (continued)

Mr. Lloyd Horrocks, President of the Northwest Civic Association, told the Commission that, although the subject tract was not located within the Association's boundaries, the group wished to review the plan and text. He said that the developer had made a presentation on Tuesday night and those present made the following suggestions: 1) that the number of curb cuts on Bethel Road be reduced to 1 and 2) that the CPD text include references to the Bethel Road development standards. Another meeting, he said, had been scheduled for November 27th at 7:00PM, in the Winterset School.

Ms. Young expressed concern over the language in the last paragraph on page 8, saying that if this remained in the text, the applicant would have a straight C-4 zoning. Mr. Kipp said that, if this were the case, staff would have to state its opposition. Mr. Feibel recommended that this paragraph be deleted. Ms. Young so moved, Mr. Berry seconded, and the motion to delete the paragraph passed unanimously.

Mr. Cochran stated he felt the reference to development standards would be a good guideline. Mr. Berry noted that the Commission would rely on the integrity of the developer. Mr. Cochran agreed, saying that staff would have to approve the final plan and text before the rezoning application would be forwarded to City Council.

The application was placed on its passage and all members voted for approval (7-0).

/s/

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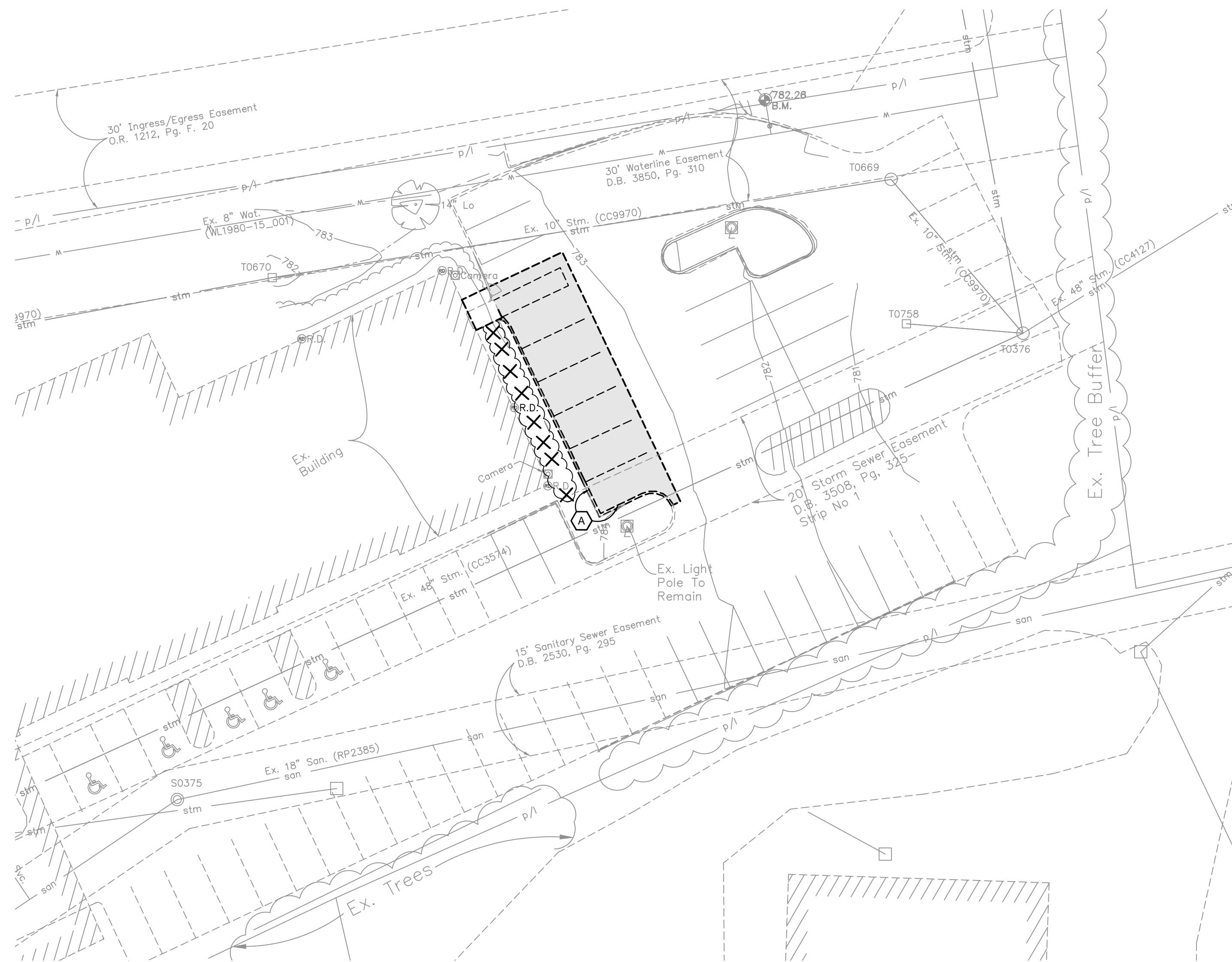


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WWW.BIRDBULL.COM


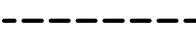

PROPOSED BUILDING EXPANSION
810 JASONWAY AVENUE
COLUMBUS, OHIO 43214

CPD TEXT

SCALE: N/A
DWN:RJ CKD:AAG DATE: 12/16/2019
JOB NO. 2
19-161 5



LEGEND

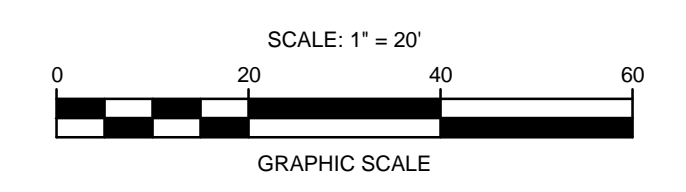
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-  PROPOSED SAWCUT
-  EXISTING ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF.


CODED NOTES

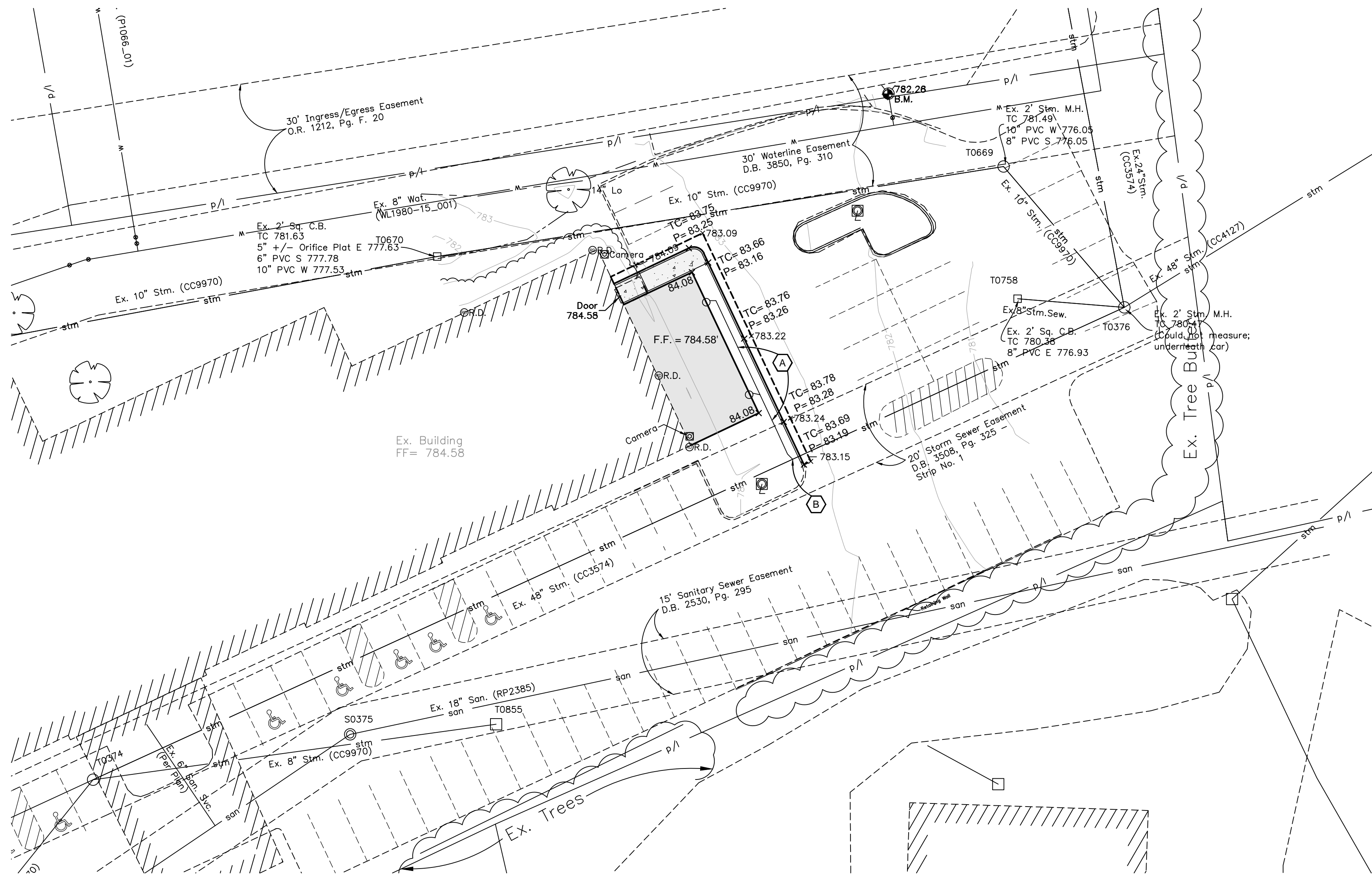
-  EXISTING CURB TO BE REMOVED AND DISPOSED OF.

ESTIMATE OF QUANTITIES			
ITEM	QUANTITY	UNIT	DESCRIPTION
202	132	S.Y.	ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF
202	74	L.F.	CONCRETE CURB TO BE REMOVED AND DISPOSED OF
255	112	L.F.	SAW CUT EXISTING PAVEMENT
609	89	L.F.	EXTRUDED CONCRETE CURB
304	4	C.Y.	AGGREGATE BASE
441	1	C.Y.	ASPHALT CONCRETE SURFACE COURSE, TYPE 1
441	1	C.Y.	ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 1
608	141	S.F.	CONCRETE WALK
901	48	L.F.	6" STORM SEWER PIPE FOR ROOF DRAINS, (HDPE)

NOTE RE: ESTIMATE OF QUANTITIES
 THESE QUANTITIES ARE APPROXIMATE ONLY AND ARE NOT TO BE USED FOR PREPARATION OF COST ESTIMATES, BIDS, OR ANY OTHER ESTIMATING PURPOSE WITHOUT VERIFICATION BY THE USER. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER FOR EVALUATION.



 Bird+Bull Engineers & Surveyors 3500 Snouffer Road, Suite 225 Columbus, Ohio 43235 Ph: (614) 761-1661 Fax: (614) 761-1328 WWW.BIRDBULL.COM	PROPOSED BUILDING EXPANSION 810 JASONWAY AVENUE COLUMBUS, OHIO 43214	
	SITE DEMOLITION PLAN	
SCALE: 1" = 20' DWN:RJ CKD:AAG DATE: 12/16/2019	JOB NO. 19-161	3



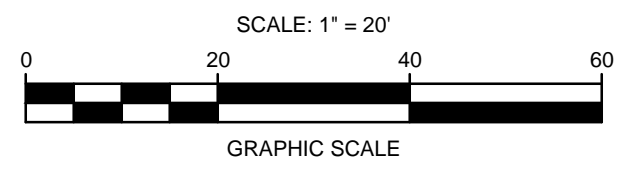
LEGEND

- 867 EXISTING CONTOUR
- 867.50 EXISTING SPOT ELEVATION
- 68.5 PROPOSED SPOT ELEVATION
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING VALVE

CODED NOTES

- A PROPOSED 6" PVC STORM PIPE FOR ROOF DRAINS. COORDINATE WITH ARCHITECTURAL PLANS.
- B BLIND TAP PROPOSED 6" STORM PIPE INTO THE EXISTING 48" STORM SEWER, USING A 6" KOR-N-TEE.

NOTE: THE CITY OF COLUMBUS CONSTRUCTION AND MATERIALS SPECIFICATIONS, CURRENT EDITION SHALL GOVERN THESE PLANS.



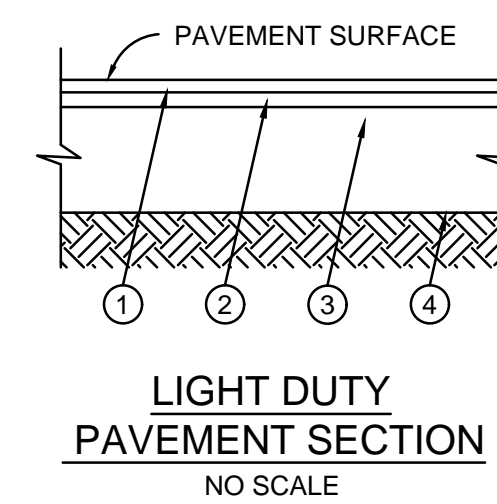
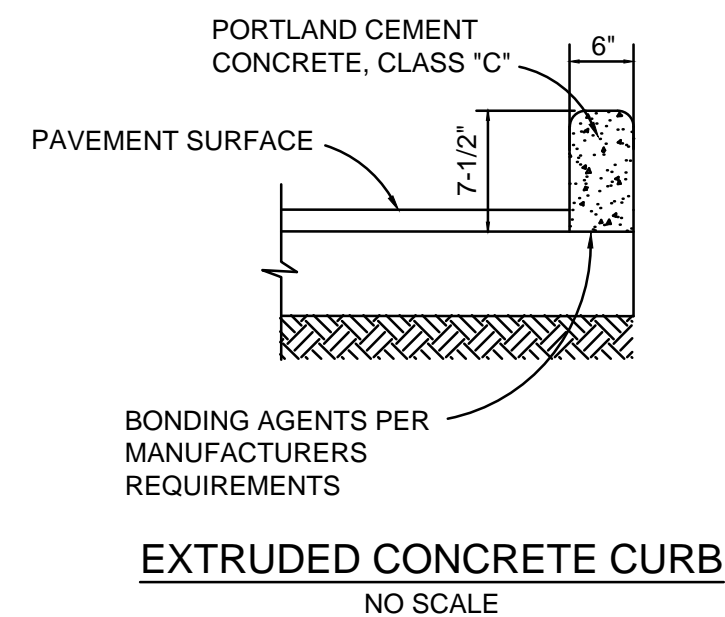
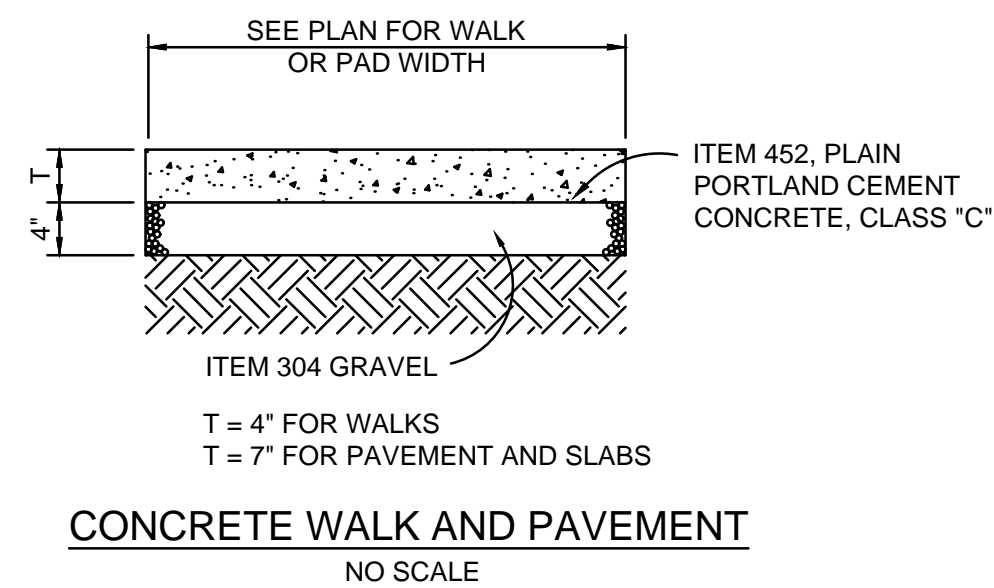
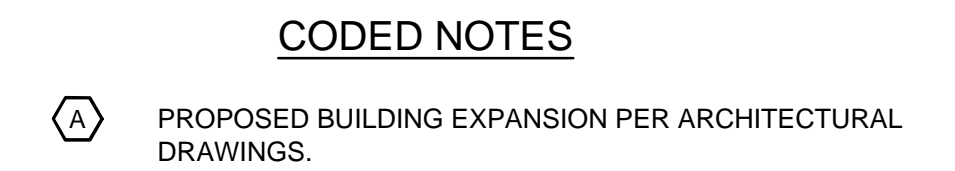
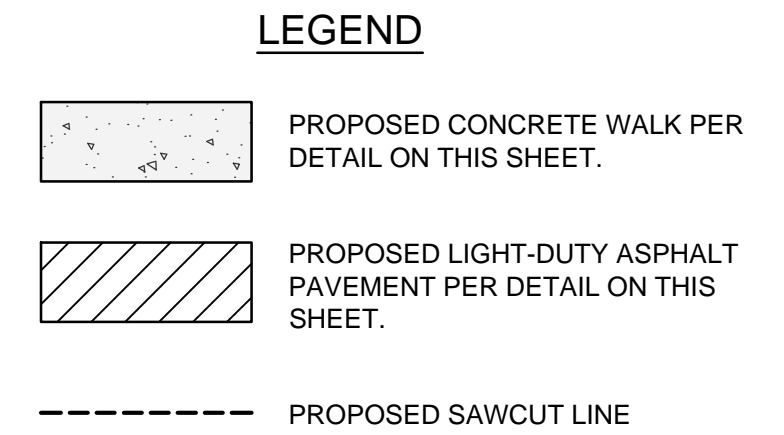
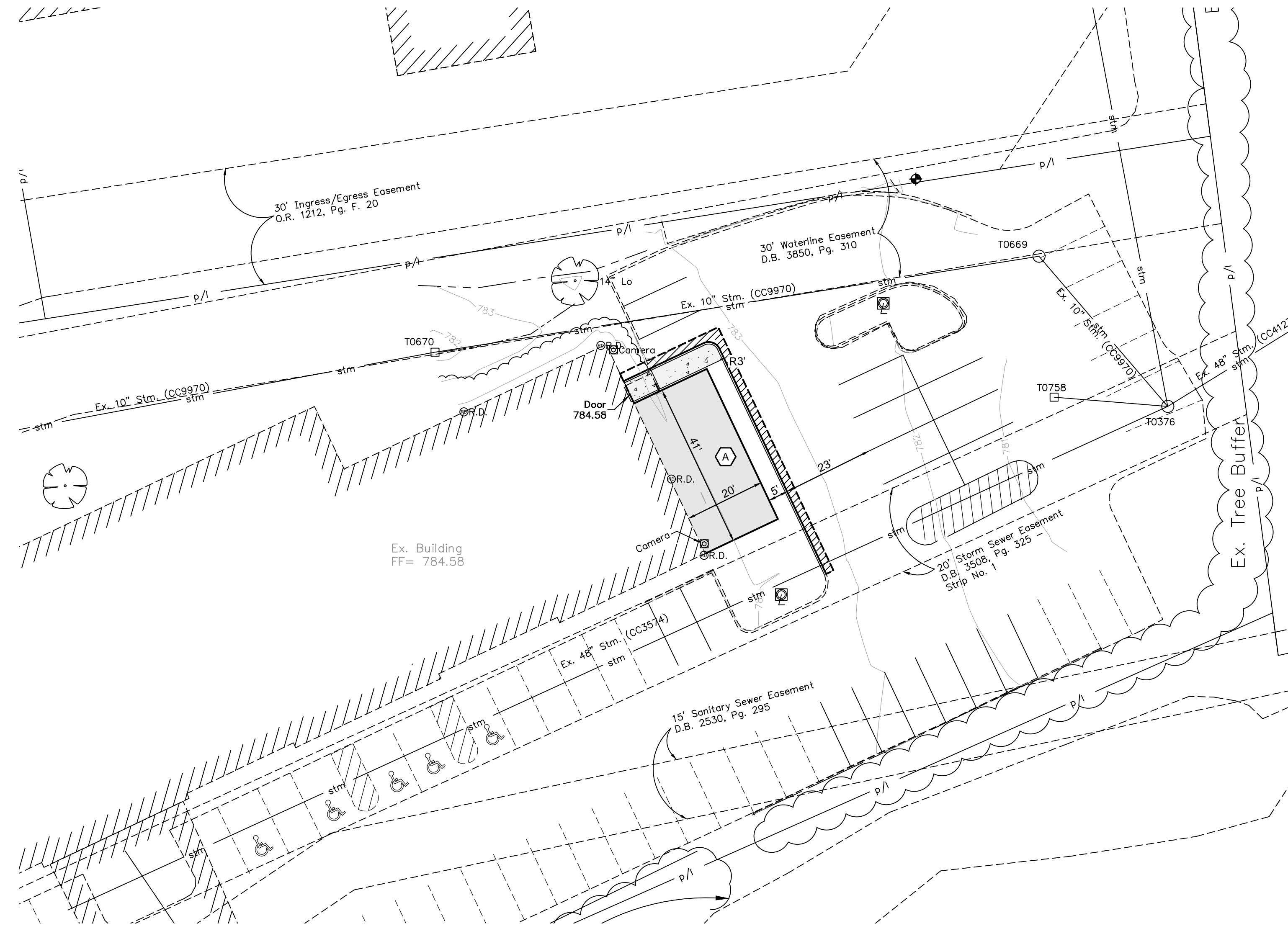
Bird+Bull
 Engineers & Surveyors
 3500 Snouffer Road, Suite 225
 Columbus, Ohio 43235
 Ph: (614) 761-1661
 Fax: (614) 761-1328
 WWW.BIRDBULL.COM

PROPOSED BUILDING EXPANSION
 810 JASONWAY AVENUE
 COLUMBUS, OHIO 43214

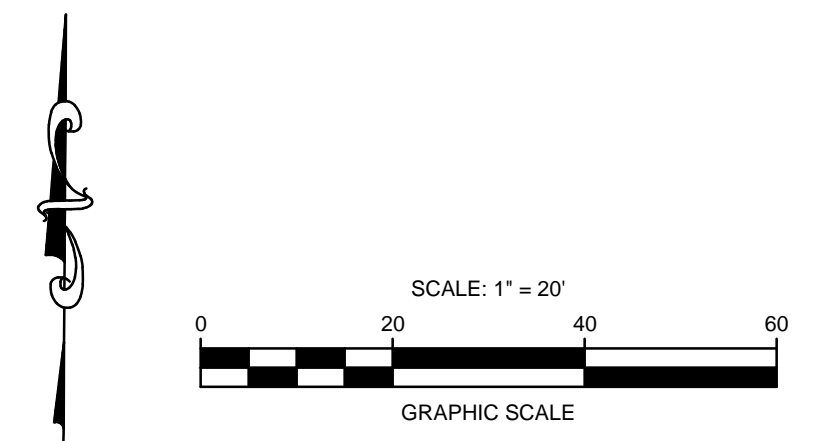
STORM SEWER AND GRADING PLAN

SCALE: 1" = 20'
 DWN:RJ CKD:AAG DATE: 12/16/2019

JOB NO. 19-161 4



- ① ITEM 448 1-1/2" ASPHALT CONCRETE SURFACE COURSE
- ② ITEM 448 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE
- ③ ITEM 304 8" AGGREGATE BASE (COMPACTED IN TWO EQUAL LAYERS)
- ④ COMPACTED SUBGRADE



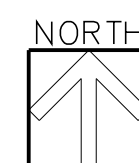
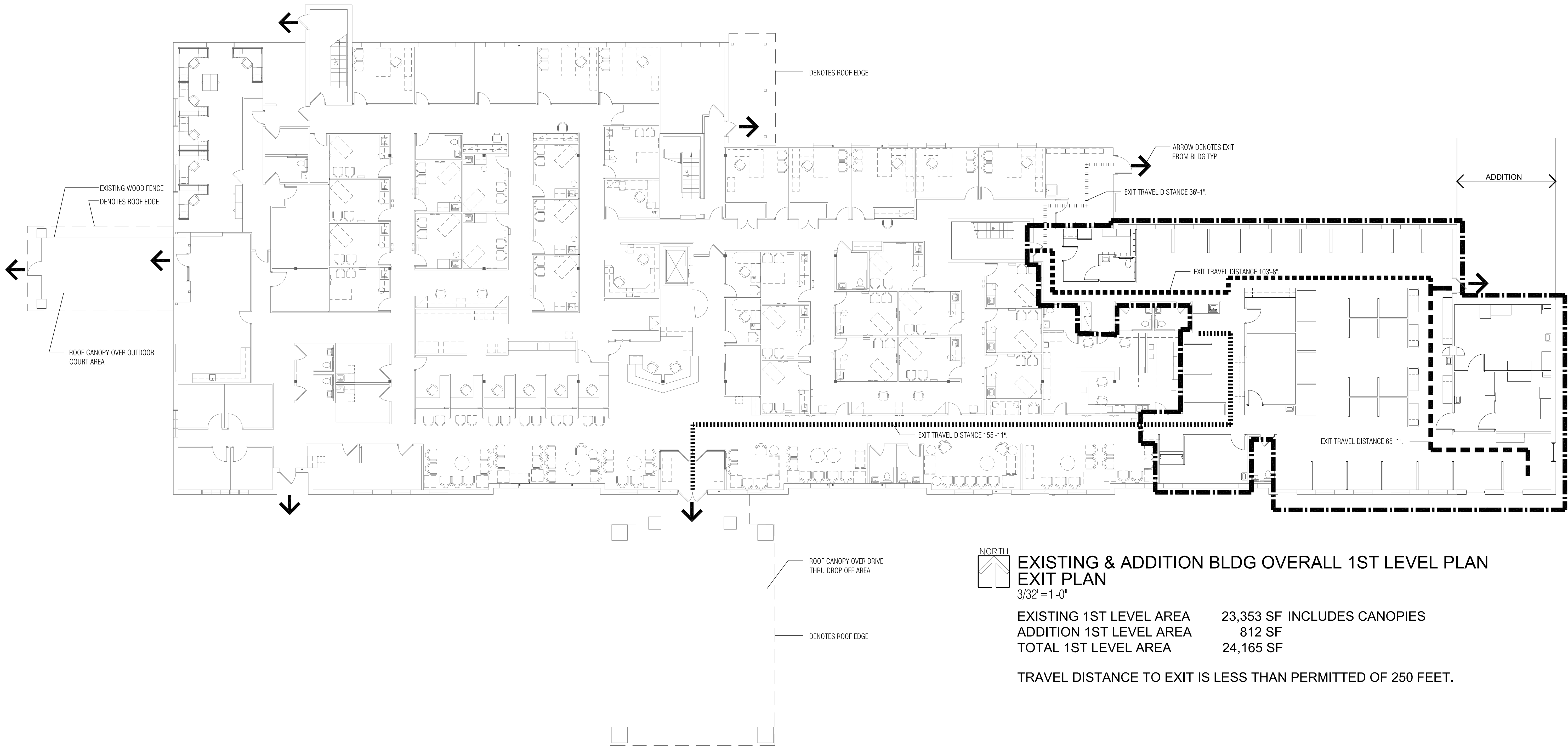
Bird+Bull
Engineers & Surveyors
3500 Snuffer Road, Suite 225
Columbus, Ohio 43235
Ph: (614) 761-1661
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PROPOSED BUILDING EXPANSION
810 JASONWAY AVENUE
COLUMBUS, OHIO 43214

SITE DIMENSION AND PAVING PLAN

SCALE: 1" = 20'
DWN:RJ CKD:AAG DATE: 12/16/2019

JOB NO. 19-161	5
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**EXISTING & ADDITION BLDG OVERALL 1ST LEVEL PLAN
EXIT PLAN**

3/32" = 1'-0"

EXISTING 1ST LEVEL AREA	23,353 SF	INCLUDES CANOPIES
ADDITION 1ST LEVEL AREA	812 SF	
TOTAL 1ST LEVEL AREA	24,165 SF	

TRAVEL DISTANCE TO EXIT IS LESS THAN PERMITTED OF 250 FEET.

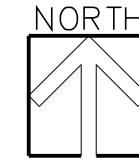
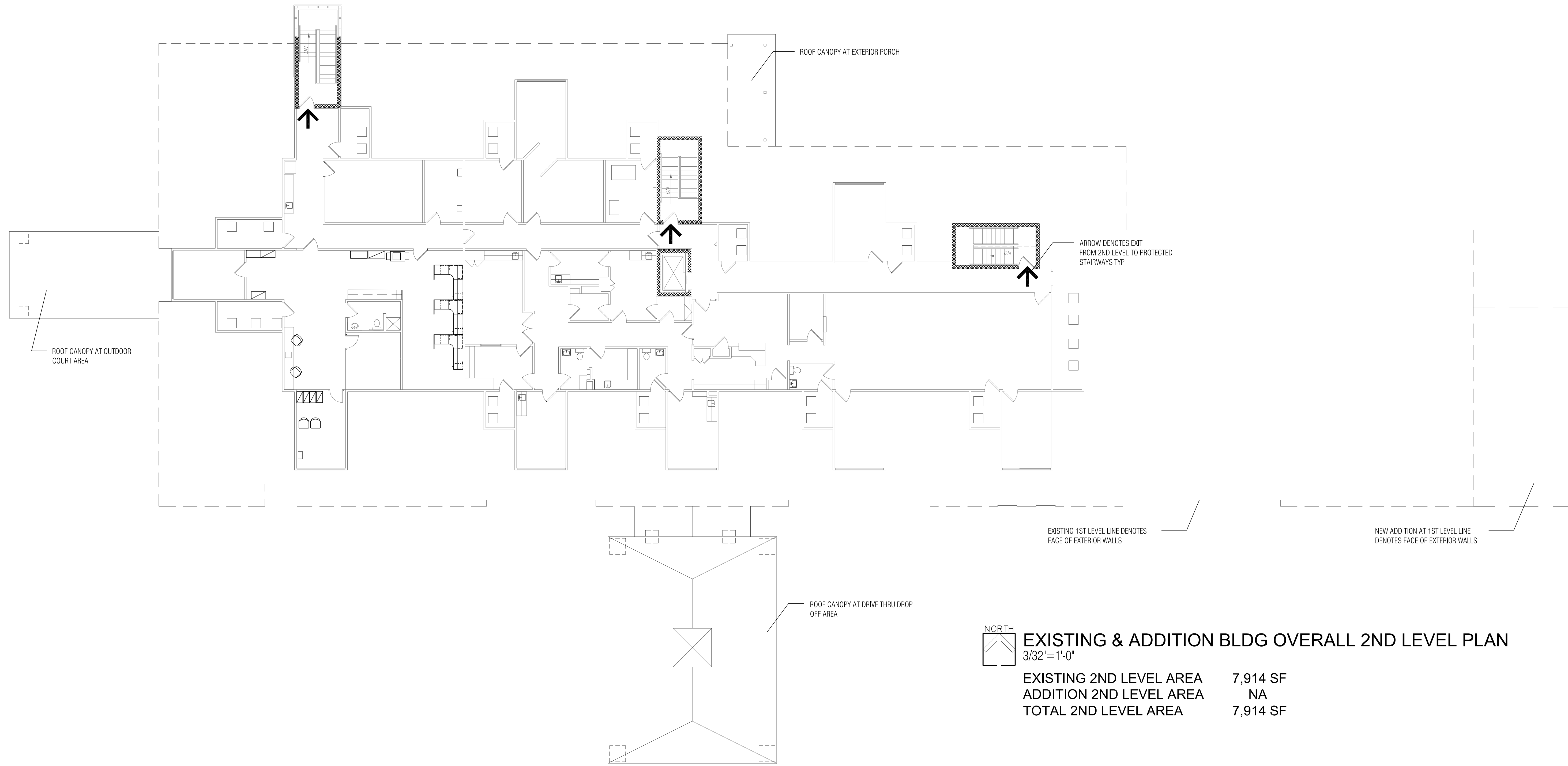
of public buildings, streets, and other special features. The user of this plan is advised that the information is for general reference only and is not intended to be used as a basis for any legal action. The user of this plan is advised that the information is for general reference only and is not intended to be used as a basis for any legal action. The user of this plan is advised that the information is for general reference only and is not intended to be used as a basis for any legal action.

Project Reference: #1900#
CONSULTANTS:
GENESIS PLANNING & DESIGN
GENESIS PLANNING DESIGN
BIRD & BULL, LTD
WALTERS & ASSOCIATES
SYRINGER ENGINEERING ASSOC. INC.
PRATER ENGINEERING ASSOC.
PRATTEN, WAG, ELLIOTT & ASSOCIATES
LEHMAN DAMIAN CONSTRUCTION SERVICES
 GENERAL CONTRACTOR

COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION
 810 JASONWAY AVE.
 COLUMBUS, OH 43214

Date: 21 JAN 2020
 Project Status:
 Planning
 Programming
 Schematic Design
 Design Development
 CD Progress

Sheet Reference:



EXISTING & ADDITION BLDG OVERALL 2ND LEVEL PLAN

3/32" = 1'-0"

EXISTING 2ND LEVEL AREA	7,914 SF
ADDITION 2ND LEVEL AREA	NA
TOTAL 2ND LEVEL AREA	7,914 SF

all work, including design, and other related services shall be performed in accordance with the provisions of the applicable building codes, and shall be subject to the review and approval of the local authority having jurisdiction. The architect shall be responsible for obtaining all necessary permits and approvals from the local authority having jurisdiction. The architect shall also be responsible for coordinating with the other professionals involved in the project. The architect shall not be responsible for the accuracy of the information provided by the client or other third parties. The architect shall not be responsible for the accuracy of the information provided by the client or other third parties. The architect shall not be responsible for the accuracy of the information provided by the client or other third parties.

Project Reference: #1900#
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Consultants:
GENESIS PLANNING & DESIGN
 GENESIS PLANNING DESIGN
 BIRD & BULL, LTD
 WALTERS & ASSOCIATES
 SYRACUSE ENGINEERING ASSOC. INC.
 PRATER ENGINEERING ASSOC.
 PRATER, EWING, ELLIOTT & ASSOCIATES
LEHMAN DAMIAN CONSTRUCTION SERVICES
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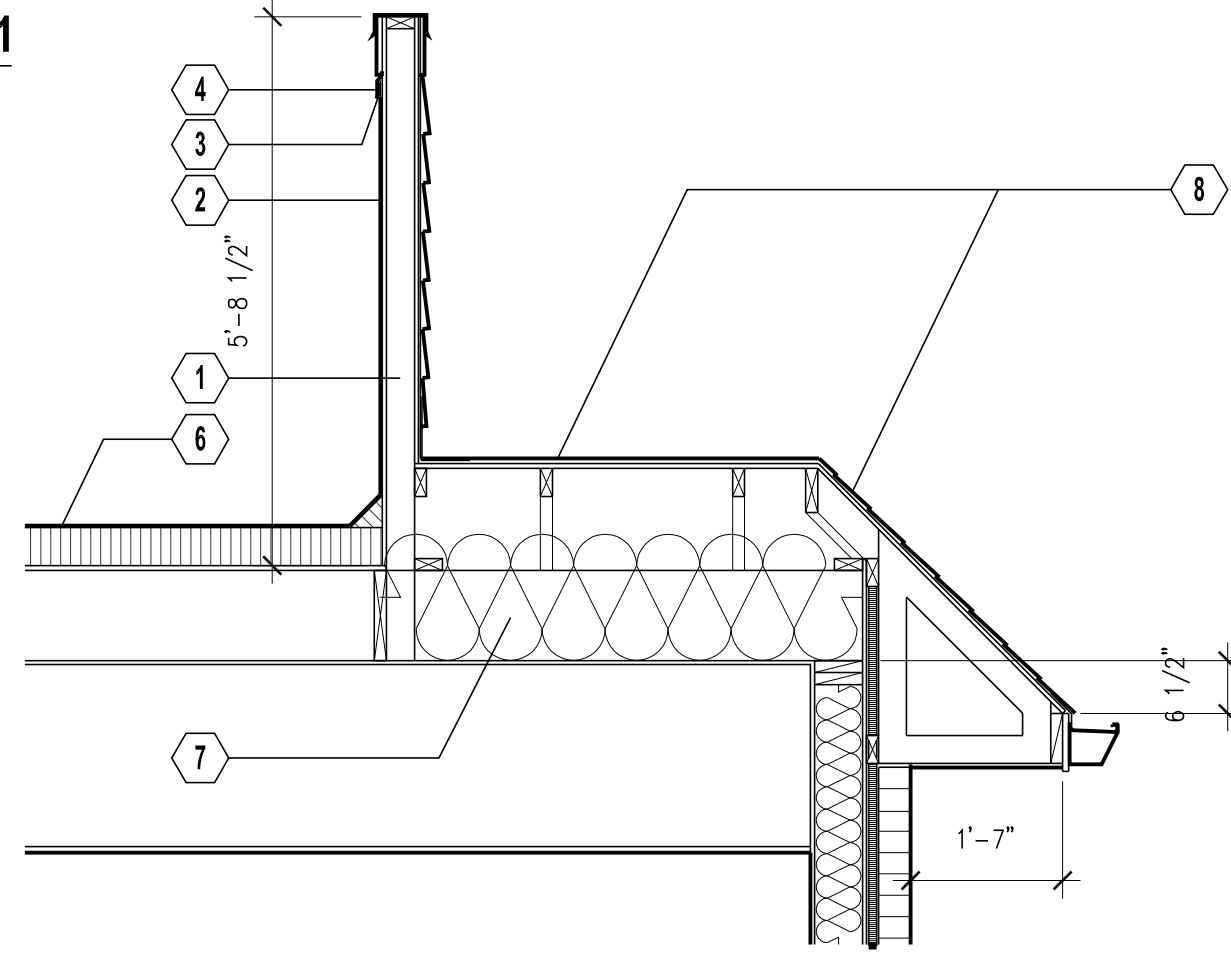
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CODED NOTES-SECTION 1

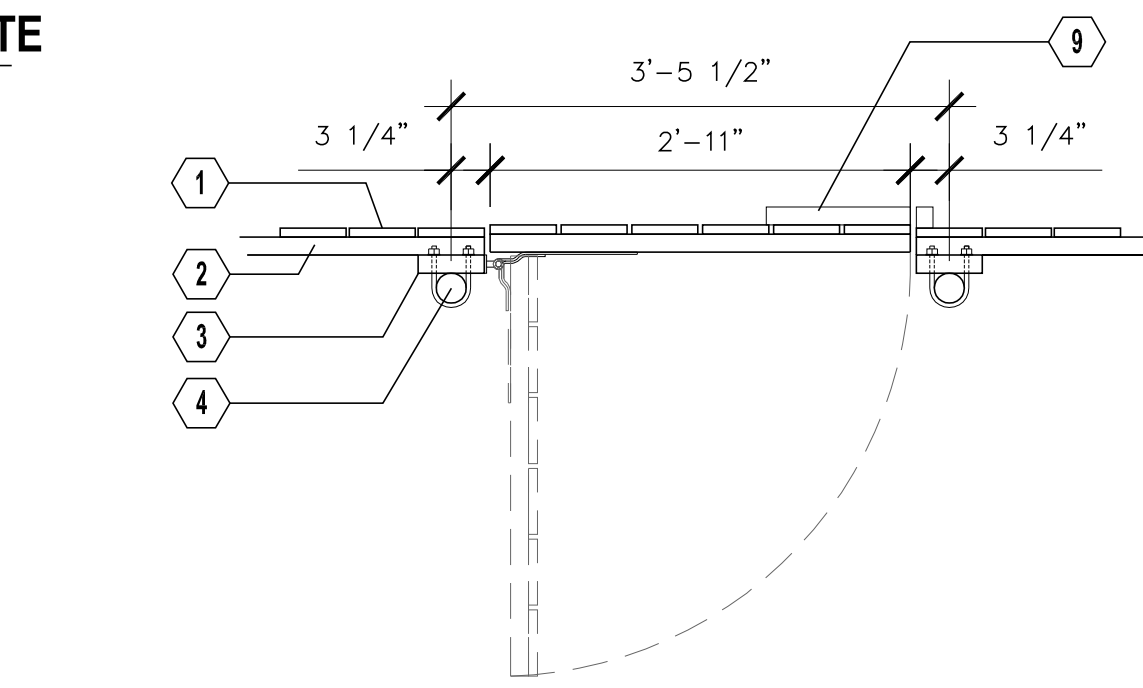
- 2x4 WOOD STUD WALL AT 16" OC, STOUNDS FROM BOTTOM OF ROOF FRAMING MEMBER TO HEIGHT NOTED.
- EPDM MEMBRANE/FLASHING OVER 5/8" SHEATHING ON VERTICAL FACE CONT-TYP.
- TERMINATION BAR AT TOP EDGE OF EPDM MEMBRANE CONT-TYP.
- MTL COUNTER FLASHING OVER TERMINATION BAR-TYP.
- 1x8 BORAL TRIM PAINTED TO MATCH EXISTING TRIM CONT-TYP.
- 60 MIL FULLY ADHERED EPDM MEMBRANE ROOF SYSTEM (CLASS C RATING MIN)-TYP.
- 14" THICK BATT VAPOR BARRIER FACED INSULATION R49 MIN-TYP W/ VAPOR BARRIER TO INSIDE.
- NEW ASPHALT SHINGLES OVER CONT UNDERLAYMENT OVER WOOD DECKING. SHINGLES TO MATCH EXISTING IN STYLE, COLOR AND PATTERN-TYP.
- ATTIC VENT BAFFLE FLAME RESISTANT PVC FOR 24" OC FRAMING BASED ON ACCUVENT PRODUCT OR PROVIDE COMPARABLE.



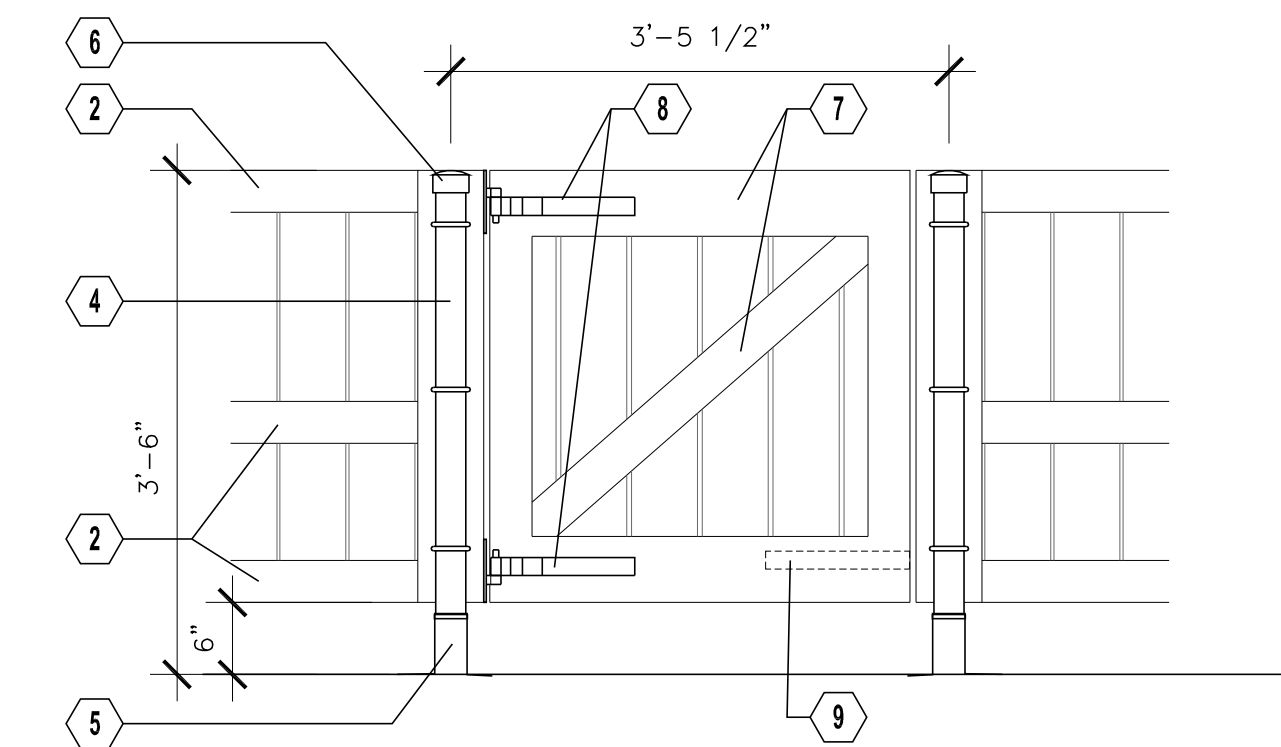
1 SECTION
3/4"=1'-0"

CODED NOTES-ROOF GATE

- 1x6 BORAL TRIM BRD-TYP.
- 2x4 TREATED WOOD HORIZ RAIL SECURED TO 4x6 AT POST WITH 2-3/8" GALVANIZED LAG BOLTS AT EACH END-TYP.
- 2x8 TREATED WOOD VERTICAL SECURED TO STL VERTICAL POST WITH 3" U" SHAPED FASTENERS 3/8" THICK WITH WASHERS AND NUTS-TYP.
- 2 1/2" DIAMETER GALVANIZED STEEL PIPE SUPPORT FOR SCREEN AND FALL PROTECTION STRUCTURE-TYP.
- ROOF FLASHING AT BOT OF PIPE-TYP.
- GALVANIZED PIPE CAP SEAL IN PLACE-TYP.
- 2x6 TREATED TOP AND BOTTOM RAIL OF GATE OTHERS 2x4.
- GALVANIZED PAINTED 12" LONG STRAP HINGES WITH BAND PIN UNIT BASED ON SNUG COTTAGE MODEL #8295. INSTALL PER MANUFACTURE RECOMMENDATIONS IN FIXED POSITION.
- CALVANIZED PAINTED 12" SLIDE BOLT LATCH FLUSH MOUNT ON OTHER SIDE OF GATE AT BOTTOM RAIL. BASED ON SNUG COTTAGE MODEL 5000-12SP WITH PADLOCK MOUNTING.



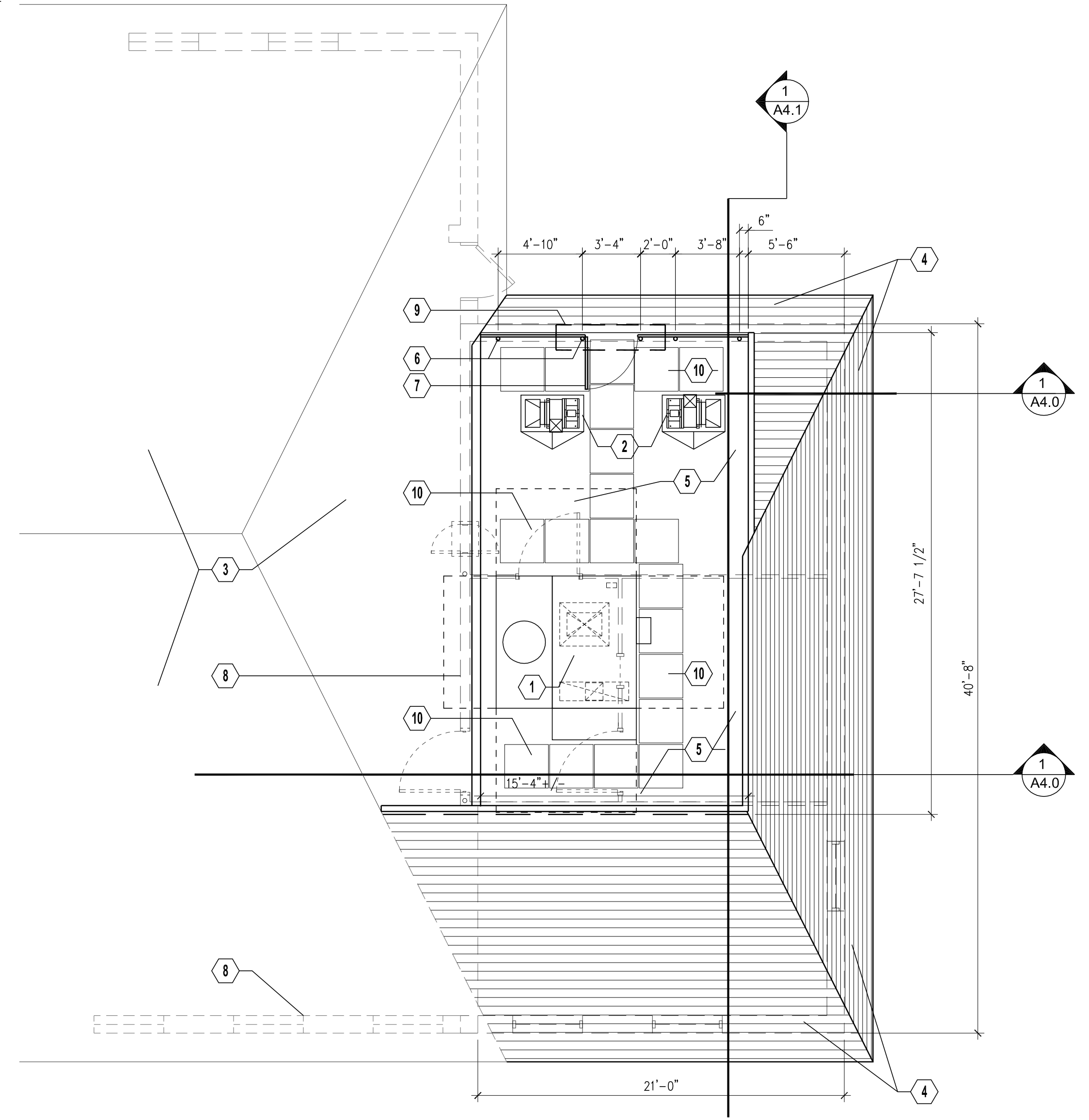
2 ROOF GATE PLAN
3/4"=1'-0"



3 ROOF GATE BACK ELEV
3/4"=1'-0"

CODED NOTES-ROOF PLN

- NEW ROOFTOP HVAC UNIT-SEE MECH DRAWINGS.
- NEW ROOFTOP EXHAUST FAN-SEE MECH DRAWINGS.
- EXISTING SLOPED SHINGLE SURFACE.
- NEW SLOPE SHINGLE SURFACE-TYP.
- NEW SLOPED SINGLE-PLY ROOF SYSTEM.
- 2 1/2" DIAMETER GALVANIZED STEEL PIPE SUPPORT FOR SCREEN AND FALL PROTECTION STRUCTURE-TYP.
- 36" WIDE SWINGING ACCESS PANEL.
- WALLS AND OTHER ITEMS BELOW ROOF-TYP.
- SEE GATE DETAIL 2 AND 3 THIS SHEET.
- ROOF WALKWAY PADS-TYP.



AREA OF WORK ROOF PLAN
3/16"=1'-0"

Consultants:
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 ARCHITECTURAL DESIGN
 BIRD & BULL, LTD
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 COLUMBUS, OH 43214

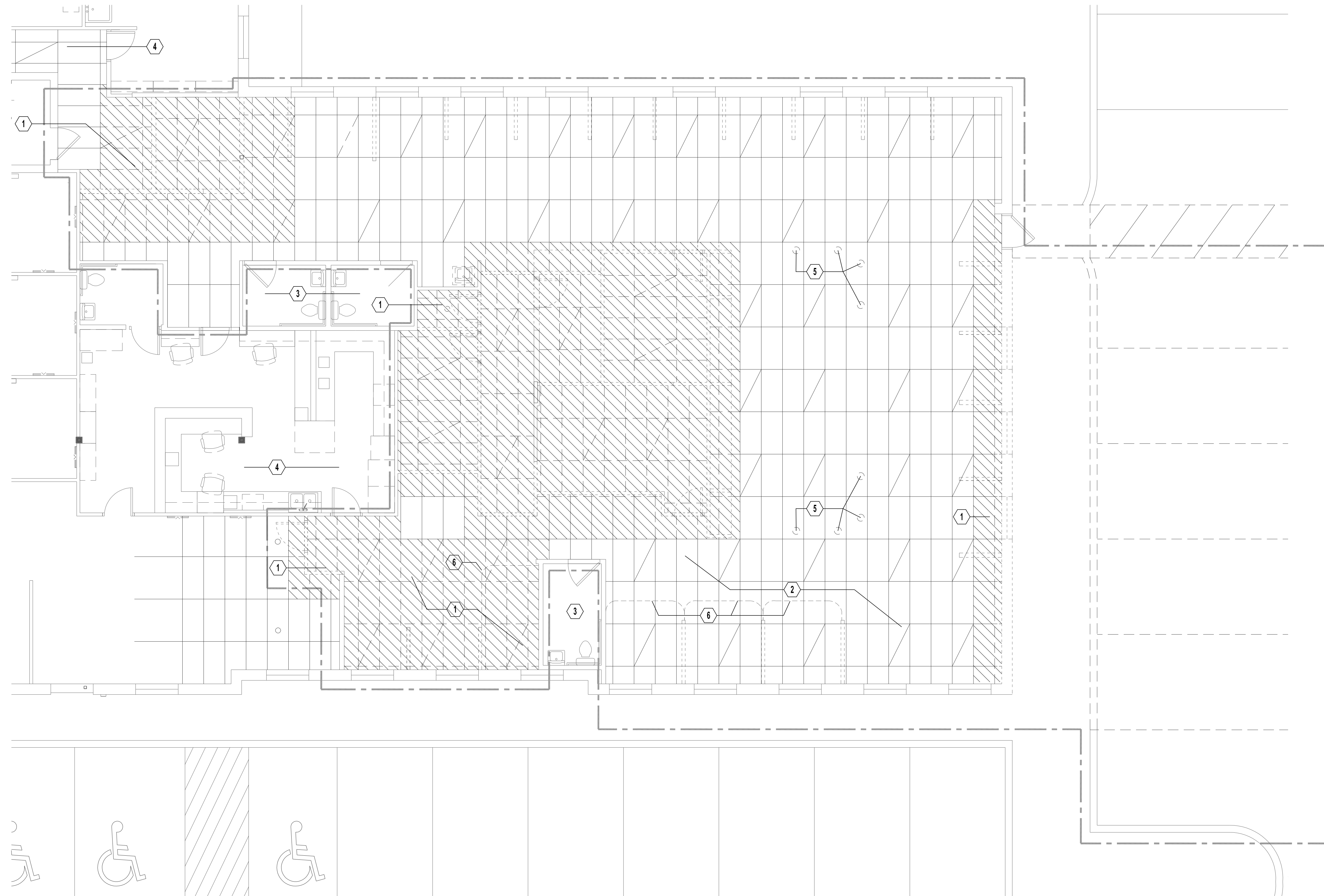
Date: 21 JAN 2020

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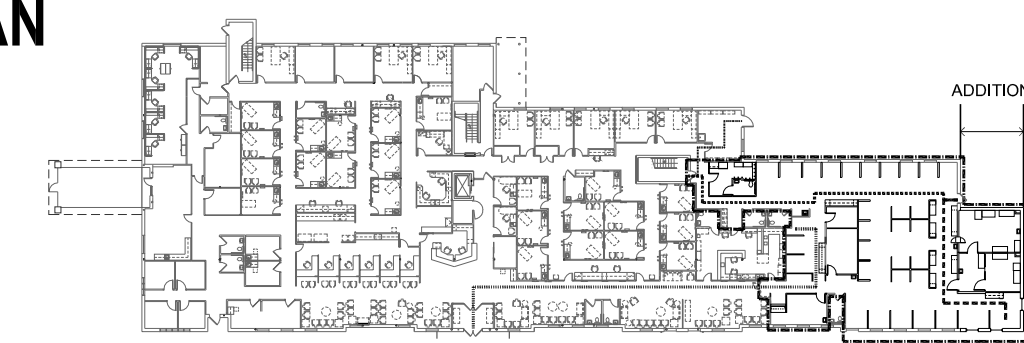
Sheet Reference:

CODED NOTES-DEMO EXSTG CLG PLN

1. HATCH AREA DENOTES APPROX AREA OF CEILING WORK. WORK INCLUDES REMOVAL OF TILE, GRID, LIGHT FIXTURES, EXIT SIGNS, EMER. LIGHTING FIXTURE AND OTHER ITEMS. ALL ITEMS TO BE REMOVED TO BE REUSED IF IN GOOD CONDITION AND WORKING UNLESS NOTED OTHERWISE IN THE DOCUMENTS OF WORK. COORDINATE LOCATION AND RELOCATION OF SPRINKLER HEADS AND PIPING AS REQUIRED WITH THE NEW WORK.
2. EXISTING GRID WITH LAY IN CEILING TILE TO REMAIN EXCEPT FOR RELOCATION OF LIGHT FIXTURES OR TILE REPLACEMENT DO TO DAMAGE-TYP.
3. EXISTING DRYWALL CEILINGS NO WORK.
4. EXISTING GRID WITH LAY IN CEILING TILE NO WORK.
5. REMOVE EXISTING PENDANT TYPE LIGHT FIXTURES.
6. REMOVE EXISTING CEILING TRACK AND CURTAIN SYSTEM COMPLETELY. KEEP TRACK AND CURTAIN FOR REUSE.



**EXISTING AREA OF WORK
EXISTING & DEMO CEILING PLAN**
3/16"=1'-0"



BLDG AREA OF WORK PLAN
NTS

Project Reference: #19007

**COLUMBUS ONCOLOGY &
HEMATOLOGY INFUSION
LAB ADDITION**
810 JASONWAY AVE.
COLUMBUS, OH 43214

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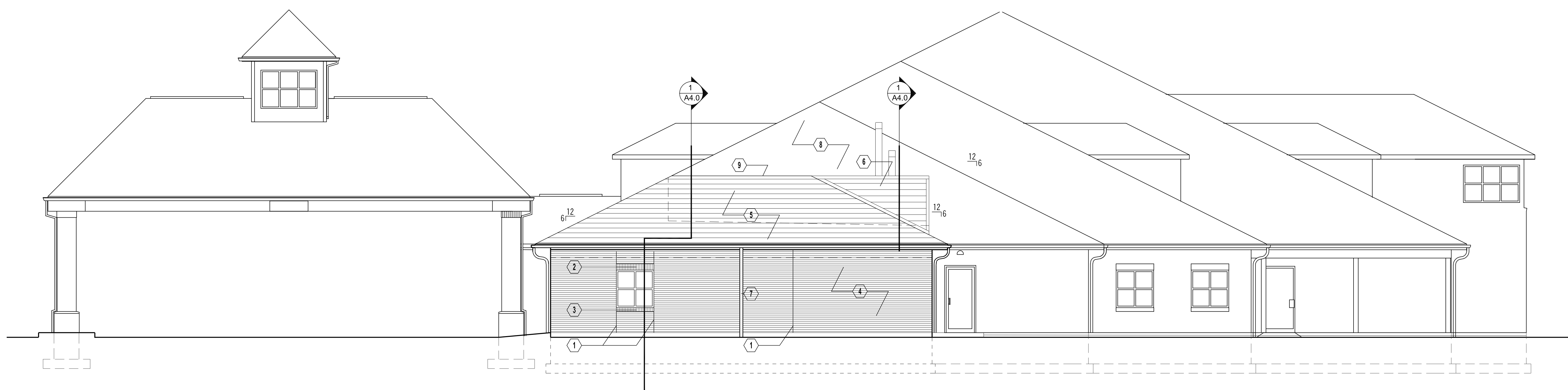
Sheet Reference:

A2.3

Consultants:
GENESIS PLANNING & DESIGN
 GENERAL ARCHITECTURAL DESIGN
BIRD & BULL, LTD
 ARCHITECTS
WALTERS & ASSOCIATES
 ARCHITECTS
PRATER ENGINEERING ASSOC. INC.
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all work, including design, and other related services shall be performed in accordance with the provisions of the Ohio Professional Service Act, R.C. 4733.01 through 4733.09. The design professional shall not be held responsible for the actions of any subcontractors, independent contractors, or other persons who may be employed by or for the design professional. The design professional shall not be held responsible for the actions of any subcontractors, independent contractors, or other persons who may be employed by or for the design professional. The design professional shall not be held responsible for the actions of any subcontractors, independent contractors, or other persons who may be employed by or for the design professional. The design professional shall not be held responsible for the actions of any subcontractors, independent contractors, or other persons who may be employed by or for the design professional.

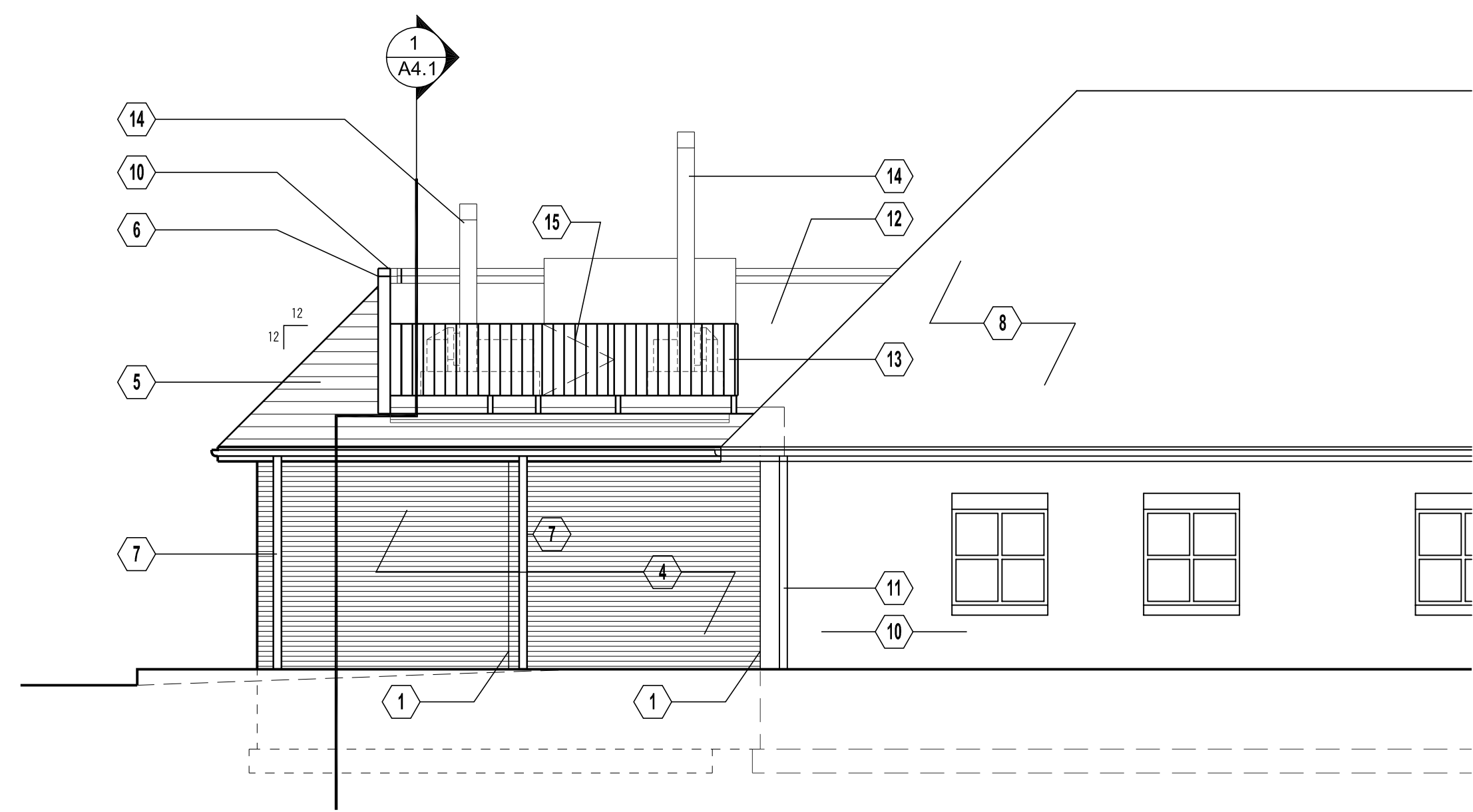
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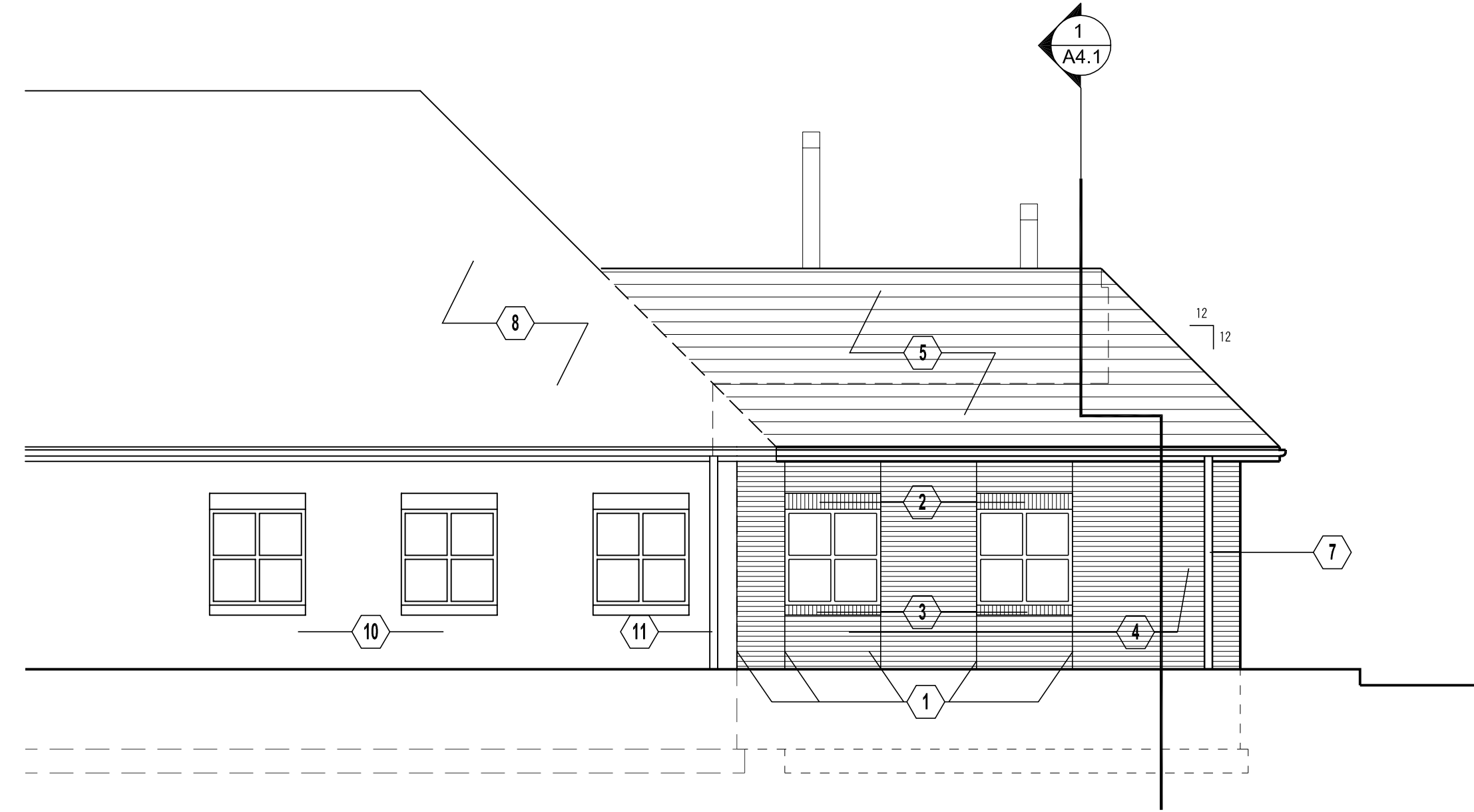
EAST ELEVATION
 3/16"=1'-0"

CODED NOTES-EXT ELEVATIONS

1. CONTROL JOINT-FILL WITH FOAM BACKER ROD AND SEALANT-TYP.
2. SOLDIER COURSE ABOVE WINDOW-MATCH EXISTING-TYP.
3. ROWLOCK COURSE SILL MATCH EXISTING-TYP.
4. NEW BRICK VENEER TO MATCH EXISTING WITH SAME PATTERN (RUNNING BOND)-TYP.
5. NEW ASPHALT SHINGLES TO MATCH EXISTING-TYP.
6. NEW SCREEN WALL FACED WITH BORAL SIDING AND TRIM TO MATCH EXISTING SIDING ON EXISTING DORMERS-TYP. PAINT TO MATCH EXISTING SIDING.
7. NEW MTL DS PAINT TO MATCH EXISTING-TYP.
8. EXISTING SHINGLE ROOF-TYP.
9. EXISTING BRICK VENEER.
10. NEW METAL CAP FLASHING-TYP.
11. EXISTING MTL DS.
12. NEW EPDM VERTICAL SURFACE BEYOND.
13. SCREEN & FALL PROTECTION STRUCTURE. PAINT TO MATCH EXISTING AND NEW SIDING-TYP.
14. EXHAUST FAN DUCT FLUE-TYP.
15. SWINGING ACCESS PANEL IN SCREEN & FALL PROTECTION STRUCTURE. SEE GATE DETAILS 2 & 3 SHEET A3.0. 1X6 BORAL BRDS VERTICAL SPACE 1/2" APART-TYP.



NORTH ELEVATION
 3/16"=1'-0"



SOUTH ELEVATION
 3/16"=1'-0"

Consultants:
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 ARCHITECTURAL DESIGN
BIRD & BULL, LTD
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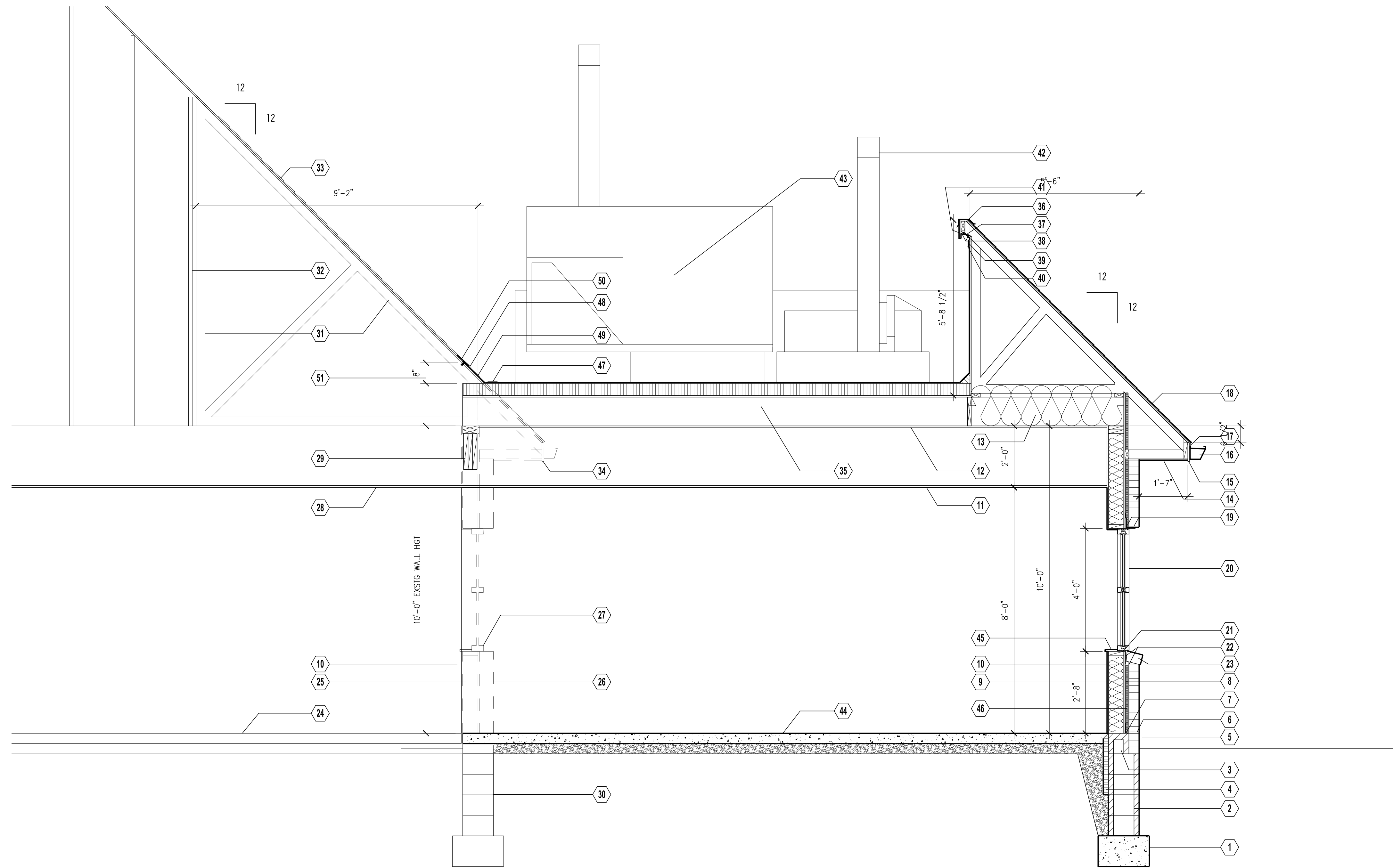
Project Reference: #19007
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Date: 21 JAN 2020

Project Status:
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 Design Development
 CD Progress

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CODED NOTES-SECTION

1. FOUNDATION AND FOOTING SEE STRUCTURAL DRAWINGS-TYP.
2. 12" CONC BLOCK FOUNDATION WALL SEE STRUCTURAL DRAWINGS-TYP.
3. 8" CONC BLOCK TOP SEE STRUCTURAL DRAWINGS-TYP.
4. 2" THICK R10 PERIMETER RIGID FOAM INSULATION 24" VERTICAL WITH 45 DEGREE CUT EDGE AT SLAB-TYP.
5. X THRU BRICK WALL WEEPS AT 24" ON CC HORIZ-TYP.
6. THROUGH WALL CONT. FLEXIBLE FLASHING 8" MIN VERT ON WALL-TYP.
7. 4" BRICK VENEER WITH MIN 1" AIR SPACE BEHIND-TYP. SECURE BRICK TO WALL WITH GALVANIZED VENEER & BASE ADJUSTABLE UNITS SECURED TO MTL STUDS WITH GALVANIZED OR SS FASTENERS. ANCHORS TO BE SPACED 18" VERTICALLY AND 32" HORIZONTALLY-TYP.
8. WRP WRAP (POLYETHYLENE) APPLIED TO SHEATHING. SEAL ALL JOINTS AND FLASH AT OPENINGS-TYP.
9. 5/8" DRYWALL OVER VAPOR BARRIER APPLIED TO METAL STUDS AT 16" OC-TYP.
10. 6" WALL INSULATION R21-TYP.
11. NEW MTL GRID WITH ACOUSTIC LAY-IN TILE SYSTEM-TYP.
12. 5/8" DRYWALL TO WOOD ROOF FRAMING MEMBERS-TYP.
13. 14" THICK BATT VAPOR BARRIER FACED INSULATION R49 MIN-TYP W/ VAPOR BARRIER TO INSIDE.
14. PERFORATED VINYL SOFFIT PANEL WITH EDGE TRIM TO MATCH EXISTING-TYP.
15. 1X BORAL TYPE TRIM BRD TO MATCH EXISTING TRIM PROFILE. PAINT TO MATCH EXISTING TRIM-TYP.
16. NEW METAL GUTTER TO MATCH EXISTING IN PROFILE AND SIZE PAINT TO MATCH EXISTING-TYP.
17. METAL DRIP EDGE CONT-TYP.
18. NEW ASPHALT SHINGLES OVER CONT UNDERLAYMENT OVER WOOD DECKING. SHINGLES TO MATCH EXISTING IN STYLE, COLOR AND PATTERN-TYP.
19. SOLDIER BRICK COURSE OVER WINDOW TO MATCH EXISTING-TYP. PROVIDE THRU WALL FLEXIBLE FLASHING WITH 3/8" WEEPS AT 16" OC.
20. ALUMN STORFRONT WINDOW SYSTEM WITH INSULATED GLAZING.
21. WINDOW SILL PAN FULL WIDTH OPENING.
22. FLEXIBLE WALL FLASHING BELOW SILL PAN BELOW ROW, LOCK THRU WALL-TYP. PROVIDE 3/8" WEEPS AT 15" OC.
23. BRICK ROW LOCK SILL TO MATCH EXISTING-TYP.
24. EXISTING 4" CONC SLAB OVER GRAVEL BASE.
25. EXISTING DRYWALL FACED METAL STUD WALL TO BE REMOVED-TYP.
26. EXISTING BRICK VENEER TO BE REMOVED-TYP.
27. EXISTING ALUM WINDOW UNIT TO BE REMOVED.
28. EXISTING MTL GRID AND LAY-IN TILE SYSTEM TO REMAIN.
29. NEW BEAM SEE STRUCTURAL DRAWINGS.
30. EXISTING 12" BLOCK FOUNDATION WALL-TYP.
31. EXISTING WOOD JACK TRUSS-TYP.
32. EXISTING WOOD GIRDER TRUSS.
33. EXISTING ASPHALT SHINGLES OVER 3/4" WOOD SHEATHING-TYP.
34. REMOVE EXISTING COMPONENTS OF EXISTING OVERHANG TO ACCOMMODATE INSTALL NEW ROOF FRAMING SYSTEM-TYP.
35. NEW ROOF FRAMING SEE STRUCTURAL DRAWINGS.
36. MTL CAP FLASHING WITH SNAP GRIPS ON BOTH SHINGLE & VERTICAL SURFACE. PROVIDE SEALANT AT SHINGLE SIDE CONT-TYP.
37. 2" WIDE ALUM VENT UNIT CONT-TYP.
38. 1X BORAL TRIM PAINTED TO MATCH EXISTING TRIM-TYP.
39. TERMINATION BAR AT TOP EDGE OF EPDM MEMBRANE CONT-TYP.
40. MTL COUNTER FLASHING OVER TERMINATION BAR-TYP.
41. 1X8 BORAL TRIM PAINTED TO MATCH EXISTING TRIM CONT-TYP.
42. EXHAUST FAN UNIT WITH VERTICAL STACK-TYP OF 2 UNITS.
43. NEW ROOFTOP HVAC UNIT.
44. 4" CONC. SLAB OVER 10 MIL VB OVER 4" GRAVEL BASE-SEE FOUNDATION PLAN.
45. WINDOW SILL 3/2" THICK CORIAN S-1 COLOR/FINISH SEE FINISH SCHEDULE AND PLAN-TYP.
46. 1" THICK EXTRUDED POLYSTYRENE INSULATION BRD RS-TYP.
47. REINFORCED PERIMETER FASTENING STRIP FASTEN TO DECK PER MANUFACTURER'S RECOMMENDATION.
48. 4" WIDE MIN MTL CONT. COUNTER FLASHING WITH WATER BLOCK OVER EDGE OF MEMBRANE SECURED TO ROOF DECK PER MANUFACTURER'S RECOMMENDATION.
49. MEMBRANE SECURED TO ROOF DECK PER MANUFACTURER'S RECOMMENDATION.
50. SHINGLE OVER SHINGLE UNDERLAYMENT OVER TOP OF MTL FLASHING-TYP.
51. MIN DISTANCE ABOVE ROOF SURFACE-TYP.

1 BLDG EAST/WEST CROSS SECTION
3/4"=1'-0"

ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE UNLESS OTHERWISE SPECIFIED IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING WORK TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIAL IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES FROM PREVIOUS EMPLOYERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES FROM PREVIOUS EMPLOYERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES FROM PREVIOUS EMPLOYERS.

Consultants:
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 ARCHITECTURAL DESIGN
BIRD & BULL, LTD
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PRATER ENGINEERING ASSOC. INC.
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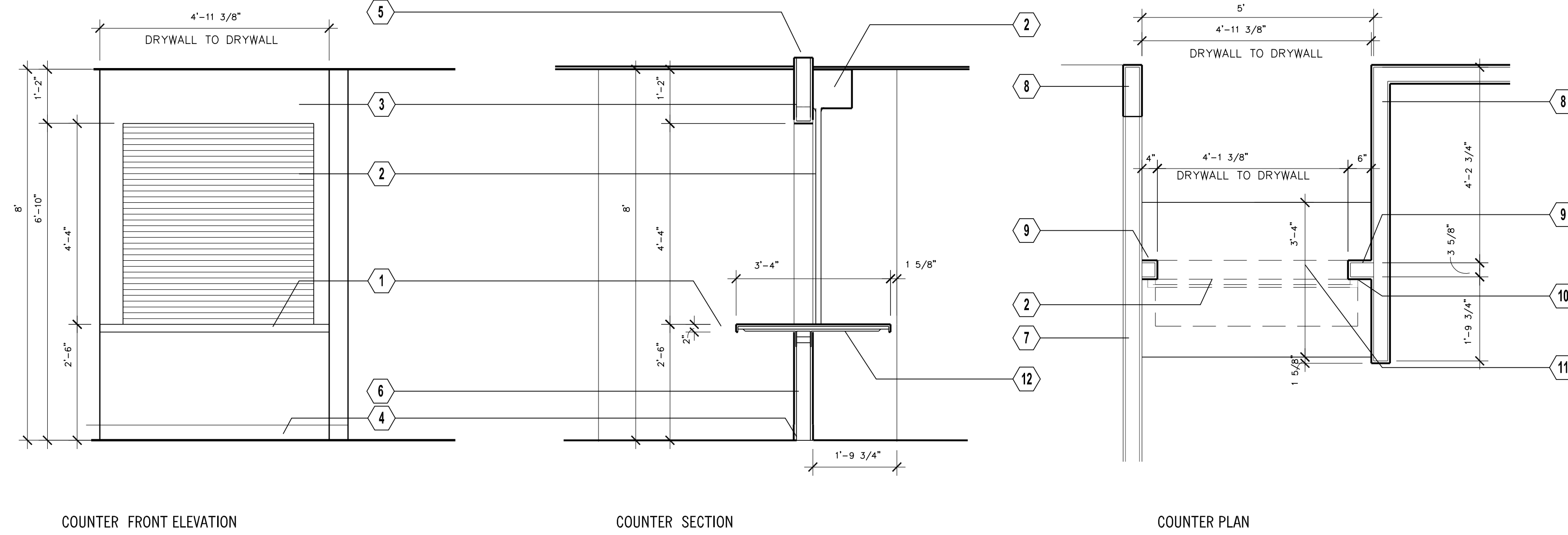
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Sheet Reference:

A4.0

CODED NOTES- PHARMACY COUNTER

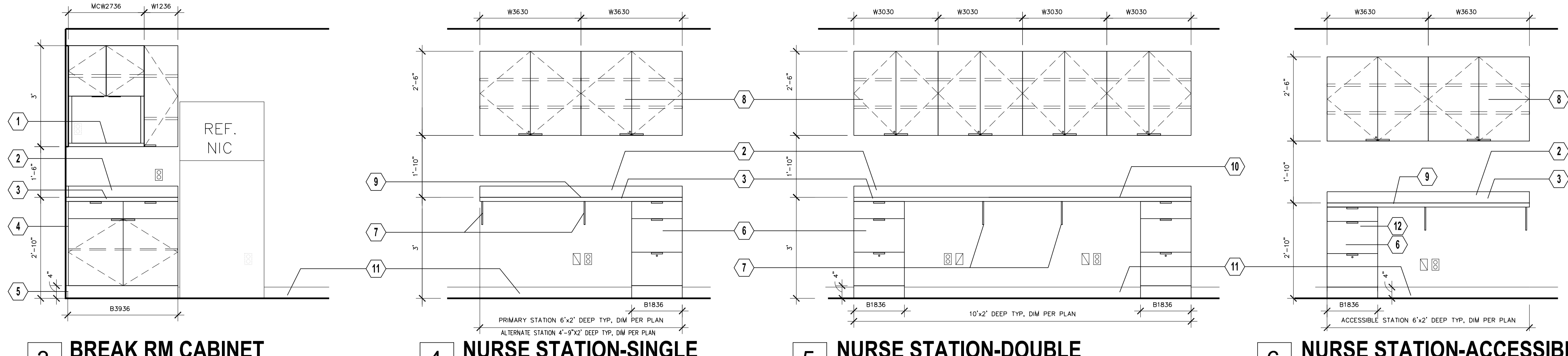
- SOLID SURFACE COUNTER BASED ON CORIAN OVER 3/4" PLYWOOD SUBSTRATE. 2" HIGH FACE EDGE-TYP.
- ROLLING SHUTTER UNIT BASED ON COOKSON ESCIO MODEL ALUMINUM SLATS, FRAME AND HEAD.
- DRYWALL FACE AROUND SHUTTER-TYP.
- SCHEDULED BASE-TYP.
- CONSTRUCT METAL STUD WALL TO 4" ABOVE 8' CEILING HEIGHT WITH 3/8" DRYWALL BOTH SIDES-TYP FOR NEW WALLS AROUND PHARMACY.
- 3/8" METAL STUD SUPPORT WALL BELOW COUNTER WITH DRYWALL BOTH SIDES-TYP.
- EXISTING WALL.
- NEW METAL STUD WALL.
- NEW METAL STUD WITH 3/8" DRYWALL STUB.
- ROLLING SHUTTER OPERATION CRANK THIS SIDE.
- COUNTER WIDTH.
- CENTER LEVERED BAR TYP SUPPORT BRACKET BASED ON CENTERLINE, LLC BRACKET THAT IS 2.5W X 1/2" T X 40" LONG TOP BAR WITH 1/2" X 2.5" W X 4" L VERTICAL PLATES.



2 PHARMACY COUNTER
1/2"=1'-0"

CODED NOTES-NURSE & OTHER UNIT ELEV

- PROVIDE SHELF 21" DEEP-SIZE TO BE VERIFIED.
- 4" HIGH BACK AND/OR SIDE SPLASH-TYP.
- COUNTERTOP WITH 1/2" FACE-TYP.
- PROVIDE SCRIBED FILLER STRIPS AT WALL WHERE REQUIRED FOR CLOSURE TO MATCH CABINET.
- RECESSED BASE-TYP.
- CUSTOM BASE CAB (BFF) BOTTOM FILE DRAWER WITH LOCK-KEY ALIKE WITH OTHER LOCK UNITS.
- PROVIDE MTL SUPPORT BRACKET AT END AND NO MORE THAN 36" APART ALONG LENGTH OF COUNTER-TYP.
- UPPER CAB WITH LOCKS ON EACH DOOR KEY ALIKE WITH OTHER LOCK UNITS-TYP.
- PROVIDE 1 GROMMET IN COUNTERTOP FOR WIRING-TYP.
- PROVIDE 2-2" DIS PLASTIC GROMMETS IN COUNTERTOP FOR WIRING-TYP.
- BASE PER SCHEDULE-TYP.
- REDUCE UPPER DRAWER(S) DEPTHS EQUALLY TO ACCOMMODATE COUNTER HEIGHT.



3 BREAK RM CABINET
1/2"=1'-0"

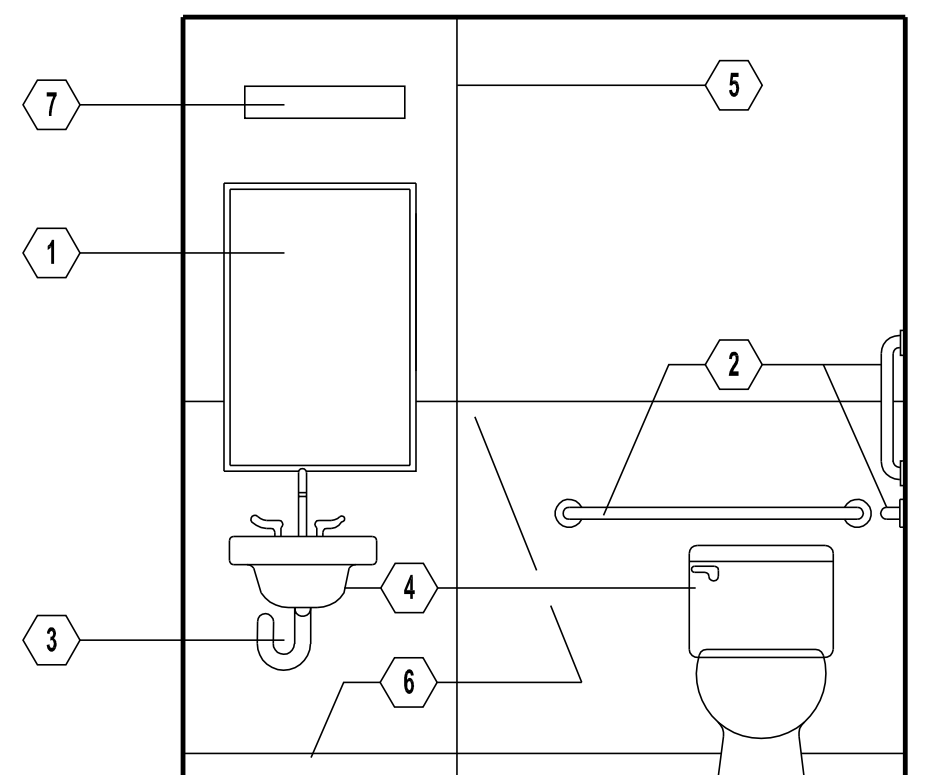
4 NURSE STATION-SINGLE
1/2"=1'-0"

5 NURSE STATION-DOUBLE
1/2"=1'-0"

6 NURSE STATION-ACCESSIBLE
1/2"=1'-0"

CODED NOTES-N RR 105

- PROVIDE 24"x36" TEMPERED GLASS MIRROR WITH STAINLESS STEEL FRAME BY BOBRICK OR COMPARABLE.
- PROVIDE WALL MOUNTED 1-1/2" DIA. STAINLESS STEEL KNURLED GRAB BARS WITH ESCHLUTIONS. CONSULT THE MOUNTING CLEARANCE LEGEND SHT. AS.1 FOR GRAB BAR LENGTHS AND LOCATIONS. PROVIDE SOLID BLOCKING AT ALL LOCATIONS.
- PROVIDE ADA CONFORMING FORM FITTING FOAM DRAIN INSULATION KIT FOR UNDER SINK PIPING.
- SEE PLUMBING FIXTURE SCHEDULE FOR COMMODE, SINK AND/OR FAUCET ITEMS-TYP.
- OFF SET IN WALL PLANE.
- WALL AND BASE TILE TO 4" AFF ON ALL WALLS-SEE FINISH SCHEDULE.
- LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.

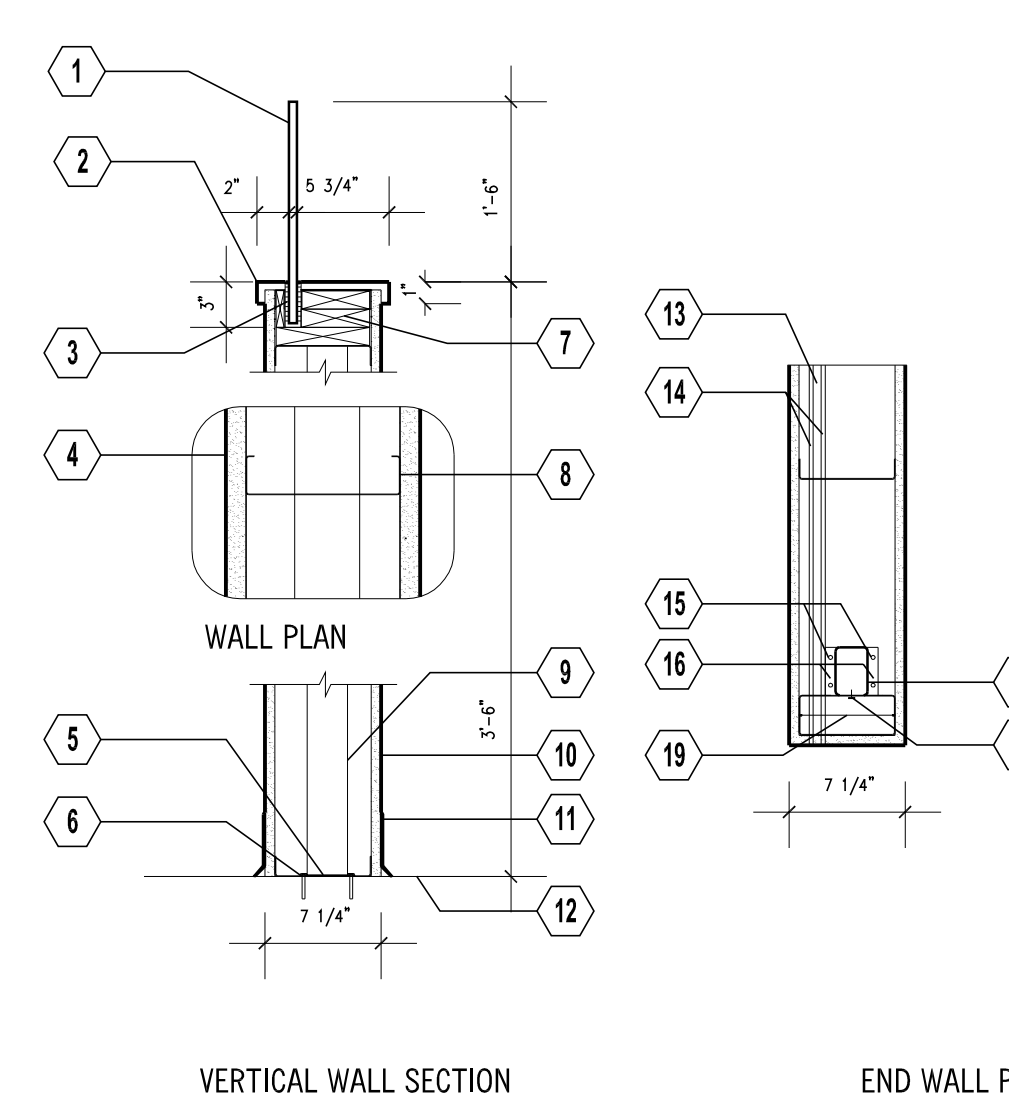


7 N RR ELEV.
1/2"=1'-0"

PROVIDE WALL BLOCKING AS REQUIRED IN WALLS FOR MOUNTING OF COMPONENTS-TYP. OWNER TO PROVIDE PAPER TOWEL, SOAP DISPENSER, TOILET PAPER HOLDER COORDINATE INSTALLATION WITH COMPONENTS TO BE PROVIDED.
FINISHES FOR COMPONENTS BELOW AND AS IDENTIFIED ON ROOM FINISH SCHEDULE.
WALL TILE TBD
WALL PT-1 & PT-2
BASE TBD

CODED NOTES-PARTIAL HEIGHT WALL

- TEMPERED GLASS (G-1).
- SOLID SURFACE 3/4" TOP WITH PENCIL EDGE.
- VINYL CHANNEL WITH GLASS SHIM AND SILICONE SEALANT AS REQUIRED FOR STABILITY.
- 1 LAYER 5/8" DRYWALL-FIRE RATED.
- 3"X3"X3/8" W 1/2" THICK MTL PLATE AT FLR.
- 1/2" X 1 1/2" L CONC. FASTENERS.
- WOOD BLOCKING AS REQUIRED TO SUPPORT GLASS AND TOP-SECURE TO TOP PLATE OF MTL STUD WALL.
- 6" 20 GAUGE MTL STUDS AT 16" OC-TYP.
- 2"X3"X1/4" THICK MTL POST WITH CONTINUOUS WELD TO PLATE.
- WALL COVERING (WVC-1) BOTH SIDES-TYP.
- BASE PER SCHEDULE BOTH SIDES-TYP.
- FINISH FLR.
- GLASS LOCATION.
- VINYL CHANNEL LOCATION.
- 4 3/4" X 1 1/2" L CONC. FASTENERS.
- 3"X3"X3/8" W 1/2" THICK MTL PLATE.
- 2"X3" MTL POST CONTINUOUS WELD TO MTL PLATE TOP AND BOT.
- SCREW 6" MTL STUD TO POST WITH SELFSTAINER SCREWS AT 6" OC.
- DOUBLE 6" 20 GAUGE MTL STUD AT WALL END.



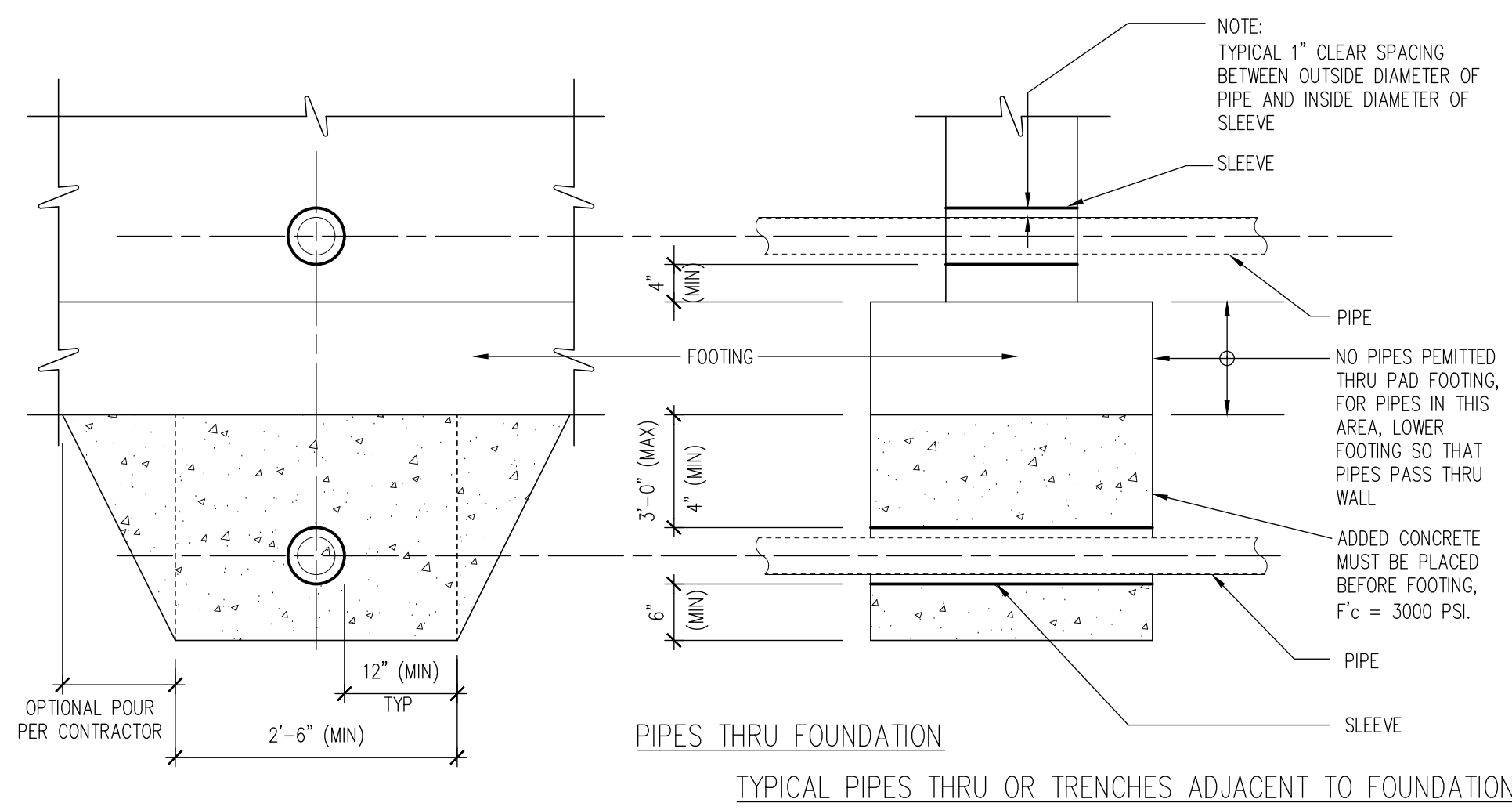
1 PARTIAL HGT WALL DETAIL
1"=1'-0"
PROVIDE BRACING OF METAL FRAMING AS REQUIRED BY INDUSTRY STANDARDS

Consultants:
GENESIS PLANNING & DESIGN
ARCHITECTURAL DESIGN
BIRD & BULL, LTD
WALTERS & ASSOCIATES
STRUCTURAL ENGINEERING ASSOC. INC.
PRATER ENGINEERING ASSOC. INC.
PRATTEN, WAG, ELLERRE, ROYER
LEHMAN DAMAN CONSTRUCTION SERVICES
GENERAL CONTRACTOR

Project Reference: #19007
COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION
810 JASONWAY AVE.
COLUMBUS, OH 43214

Project Status:
 Planning
 Programming
 Schematic Design
 Design Development
 CD Progress

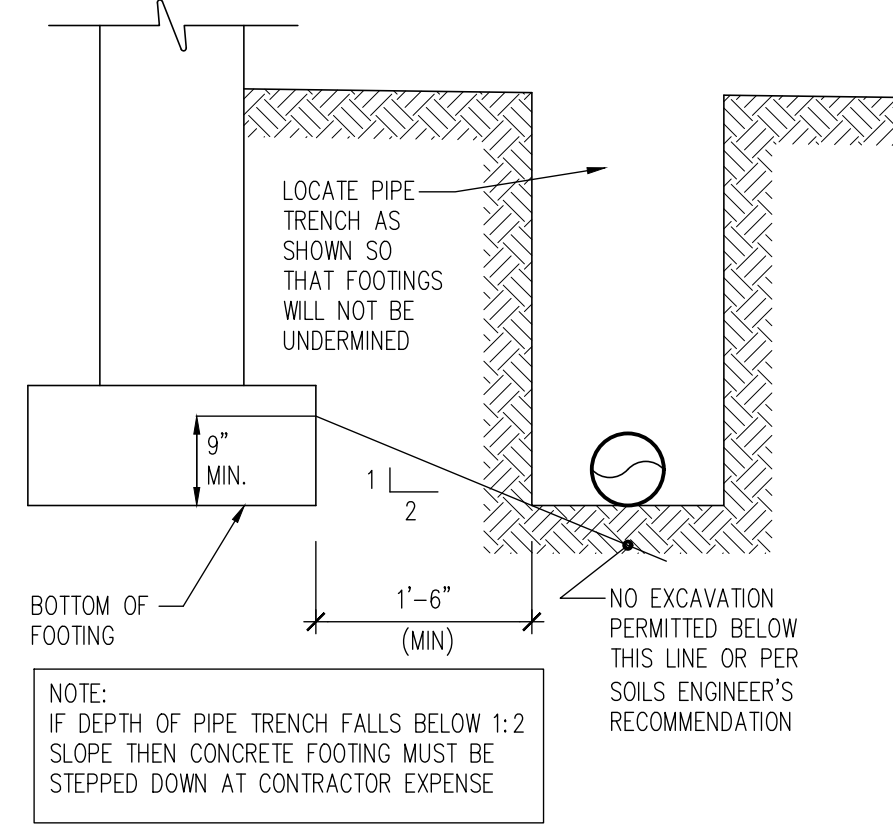
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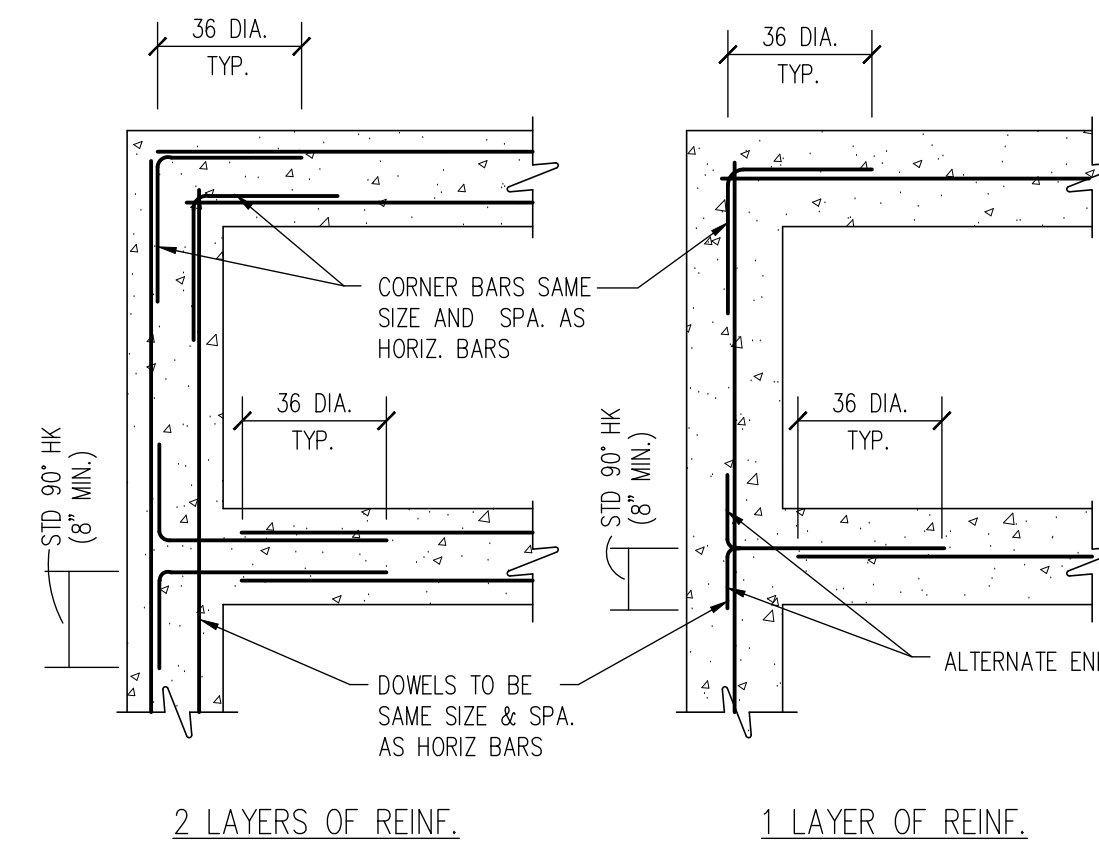
PIPES THRU FOUNDATION

TYPICAL PIPES THRU OR TRENCHES ADJACENT TO FOUNDATION

TYPICAL DETAIL 1
3/4" = 1'-0"

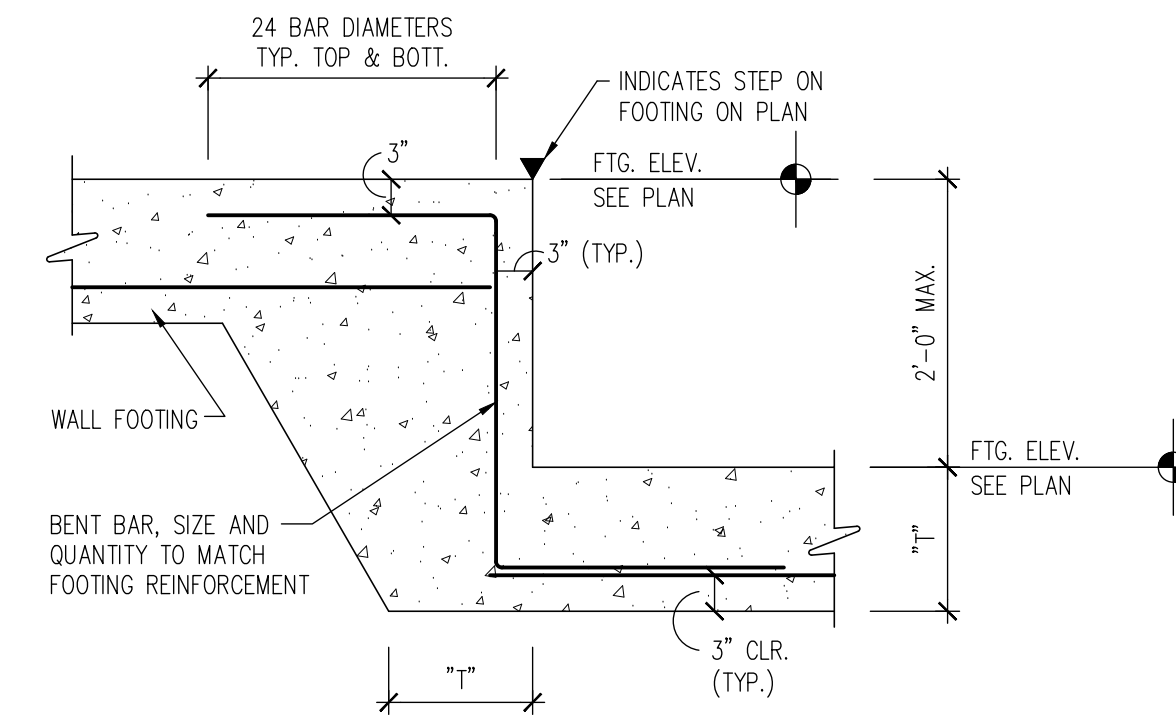


PIPE AND TRENCH ADJACENT TO FOUNDATION

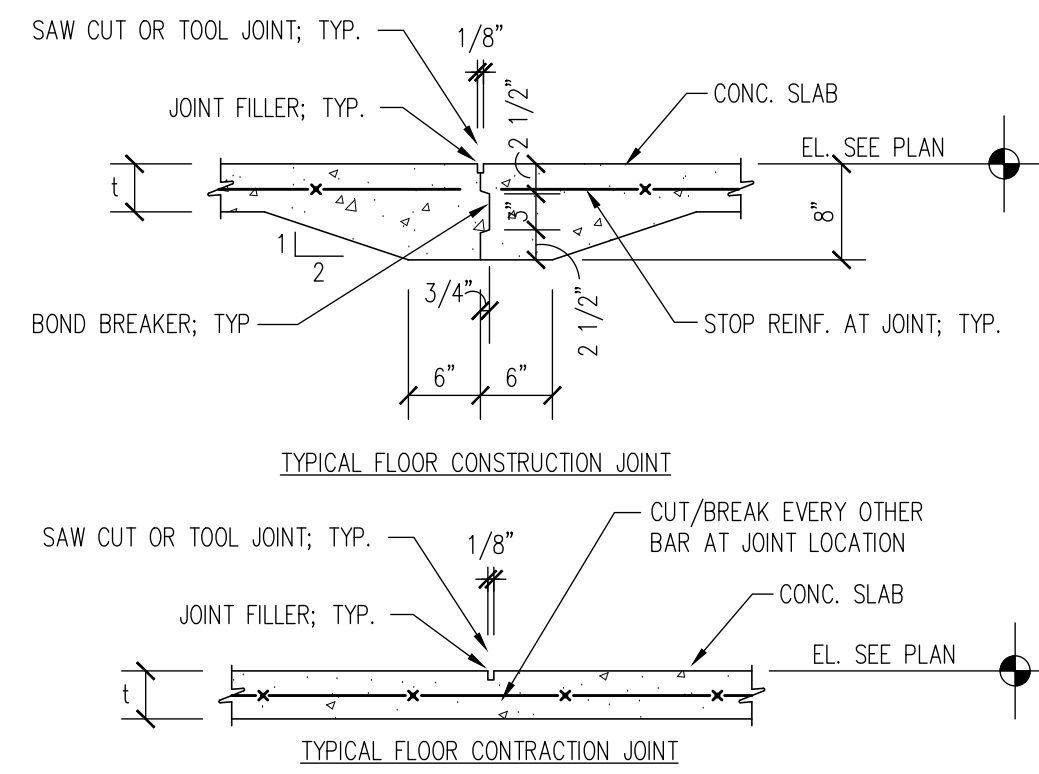


2 LAYERS OF REINF. 1 LAYER OF REINF.

PLAN DETAIL 2
3/4" = 1'-0"



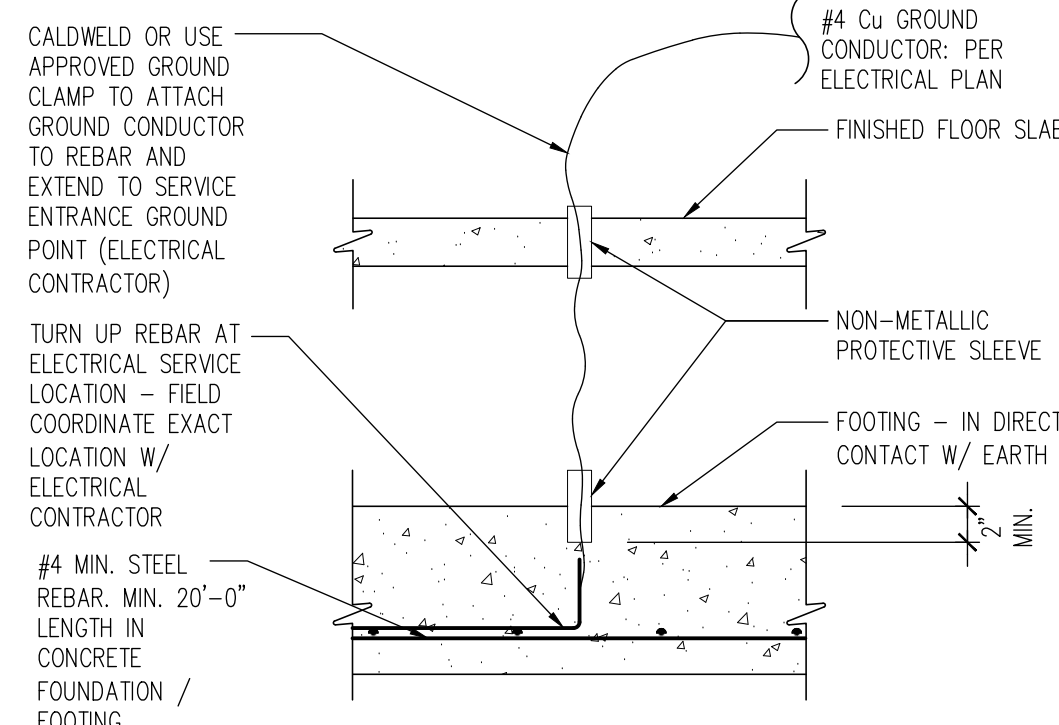
TYPICAL DETAIL 3
3/4" = 1'-0"



- GENERAL NOTES:**
1. TYPICAL REQUIREMENTS APPLICABLE FOR ALL CONCRETE SLABS, UNLESS NOTED OTHERWISE.
 2. SEE PLAN FOR CONCRETE SLAB THICKNESS AND REINFORCEMENT REQUIREMENTS.
 3. SAWED JOINTS SHALL BE CUT WITHIN 8 HOURS OF SLAB POUR; TYP. JOINT DEPTH SHALL BE 1/3 OF SLAB DEPTH "t". JOINTS SHALL BE CUT STRAIGHT (TRUE).
 4. APPLY BOND BREAKER TO COMPLETE SURFACE AREA OF CONSTRUCTION JOINT PRIOR TO 2ND CONCRETE PLACEMENT.
 5. ALL JOINT SHALL BE FILLED WITH JOINT FILLER AND FINISHED SMOOTH. SEE SPECIFICATIONS FOR JOINT FILLER REQUIREMENTS.
 6. ALTERNATE CONSTRUCTION JOINT MAY BE DIAMOND DOWEL SYSTEM OR EQUIVALENT. SUBMIT ALTERNATE TO ENGINEER FOR WRITTEN APPROVAL PRIOR TO INSTALLATION.

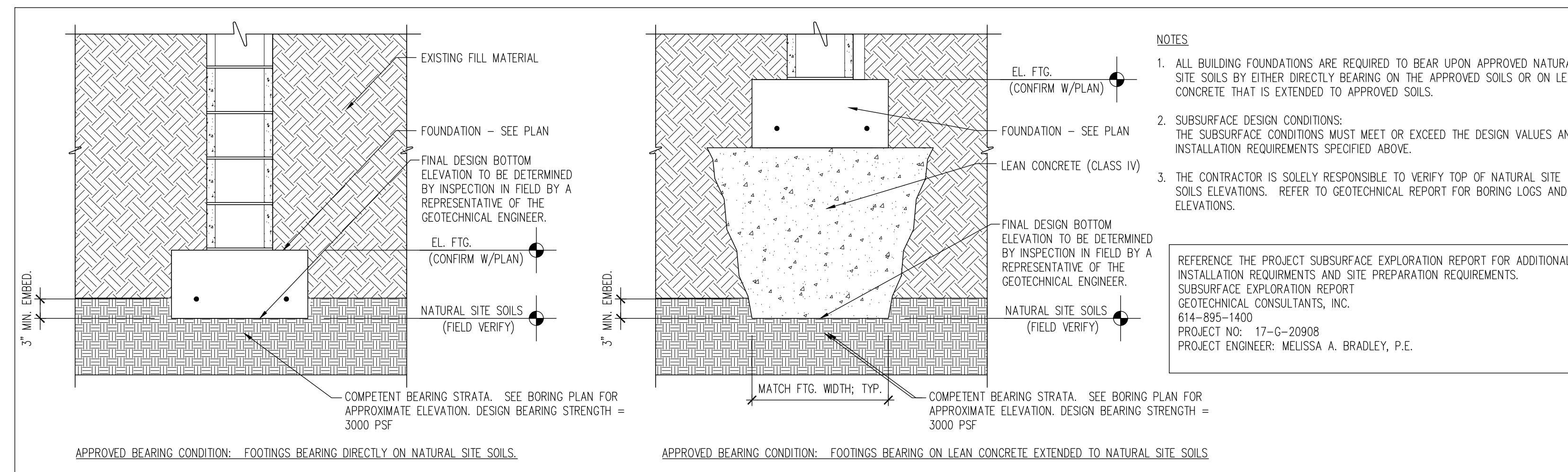
CONSTRUCTION JOINT REQUIREMENTS FOR 4" TO 7" SLAB.

DETAIL 4
3/4" = 1'-0"



REQUIRED GROUNDING DETAIL - SEE ELECTRICAL PLAN FOR DESIGNATED LOCATION.

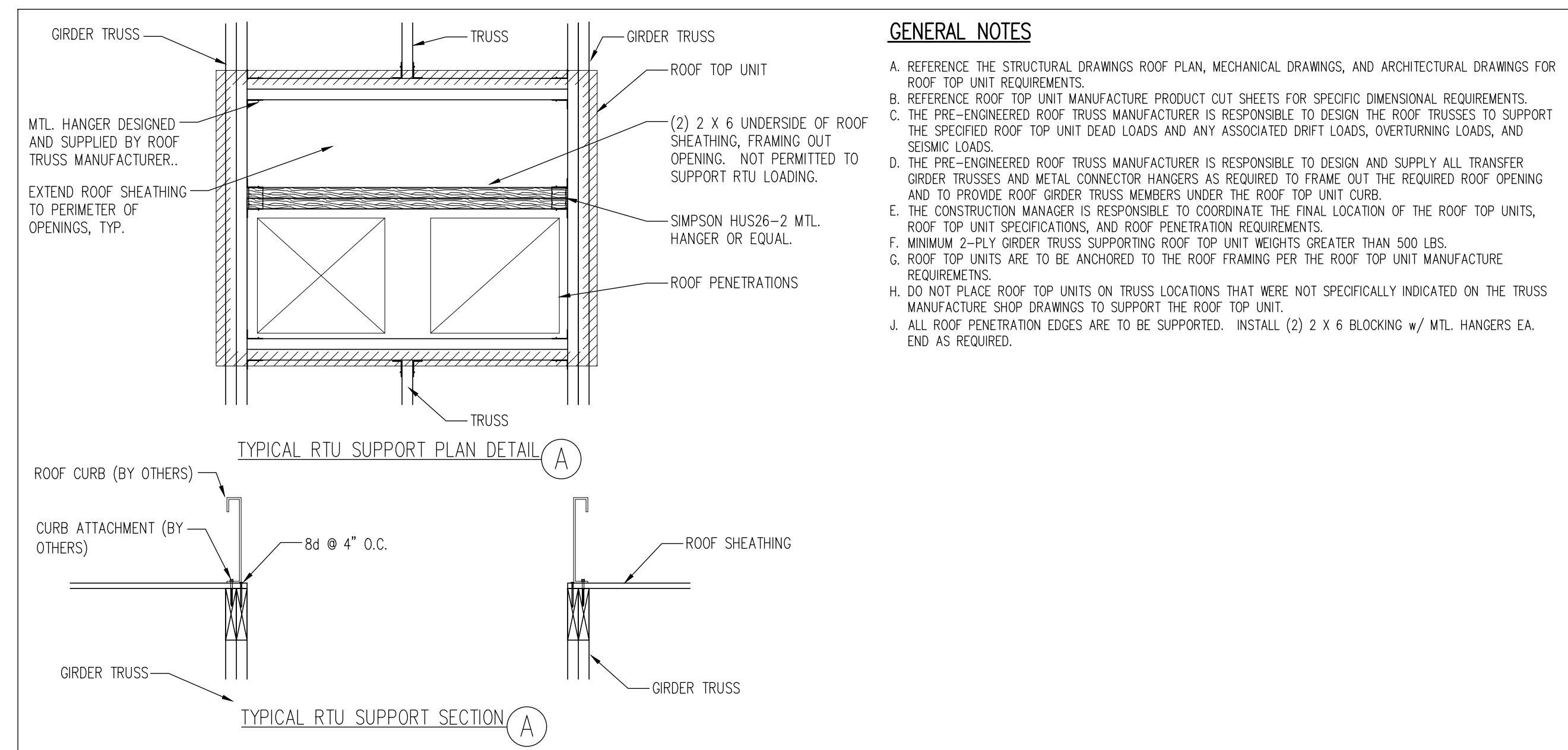
TYPICAL DETAIL 5
NOT TO SCALE

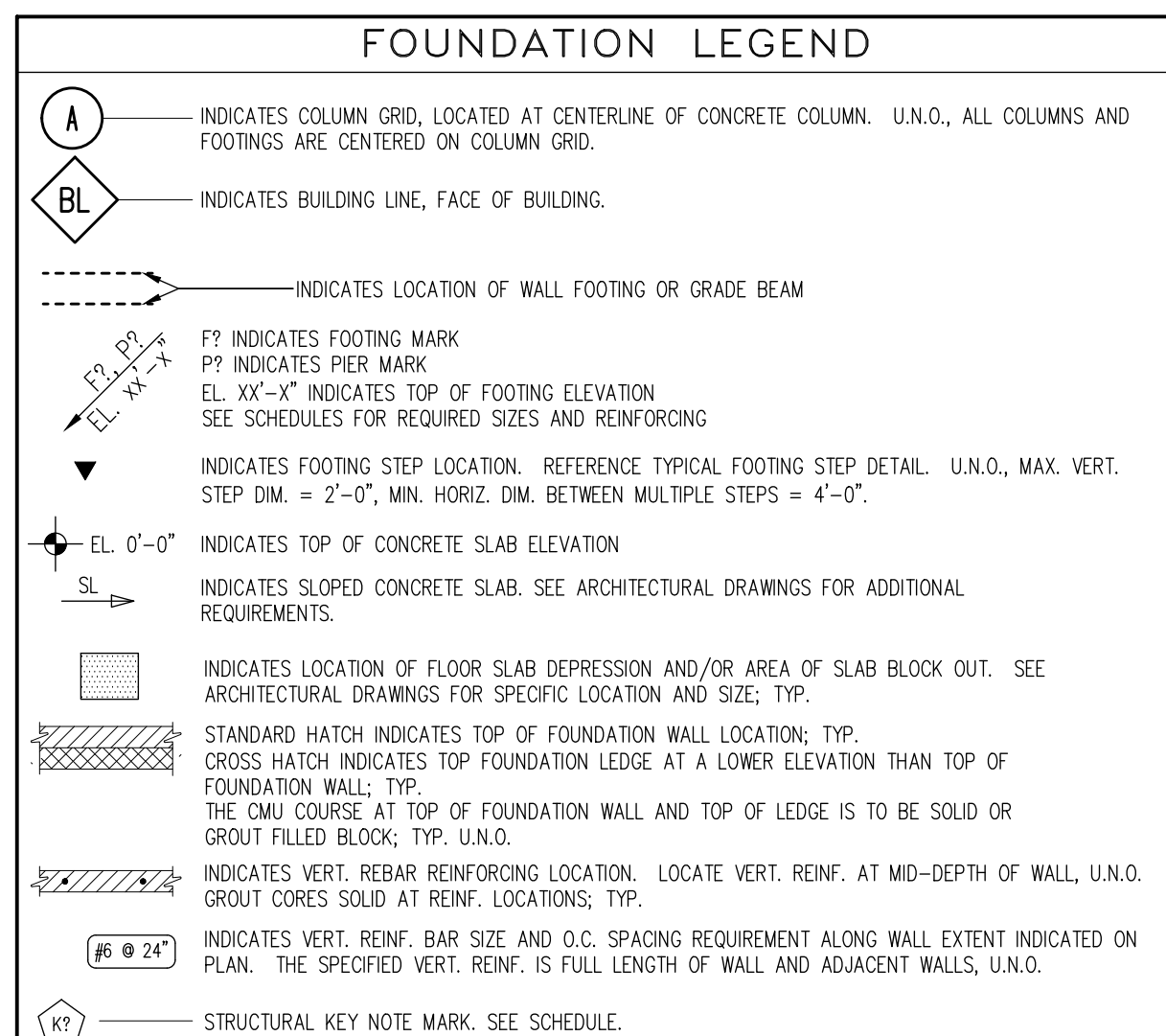


- NOTES:**
1. ALL BUILDING FOUNDATIONS ARE REQUIRED TO BEAR UPON APPROVED NATURAL SITE SOILS BY EITHER DIRECTLY BEARING ON THE APPROVED SOILS OR ON LEAN CONCRETE THAT IS EXTENDED TO APPROVED SOILS.
 2. SUBSURFACE DESIGN CONDITIONS: THE SUBSURFACE CONDITIONS MUST MEET OR EXCEED THE DESIGN VALUES AND INSTALLATION REQUIREMENTS SPECIFIED ABOVE.
 3. THE CONTRACTOR IS SOLELY RESPONSIBLE TO VERIFY TOP OF NATURAL SITE SOILS ELEVATIONS. REFER TO GEOTECHNICAL REPORT FOR BORING LOGS AND ELEVATIONS.

REFERENCE THE PROJECT SUBSURFACE EXPLORATION REPORT FOR ADDITIONAL INSTALLATION REQUIREMENTS AND SITE PREPARATION REQUIREMENTS.
 GEOTECHNICAL CONSULTANTS, INC.
 PROJECT NO. 17-C-20908
 PROJECT ENGINEER: MELISSA A. BRADLEY, P.E.

DETAIL 6
3/4" = 1'-0"



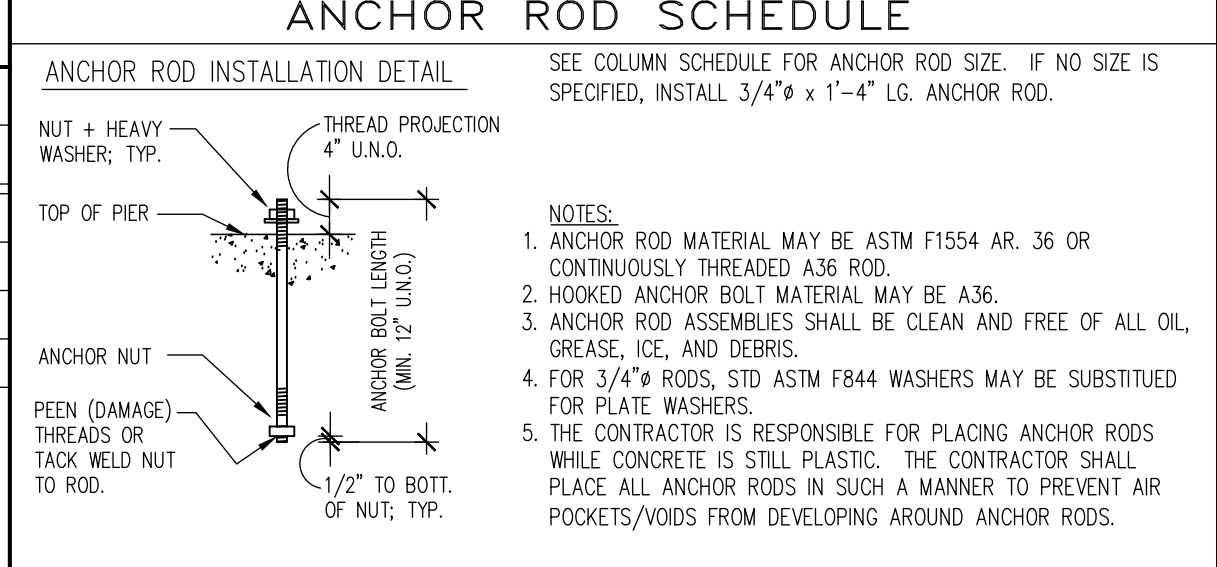


FOOTING SCHEDULE

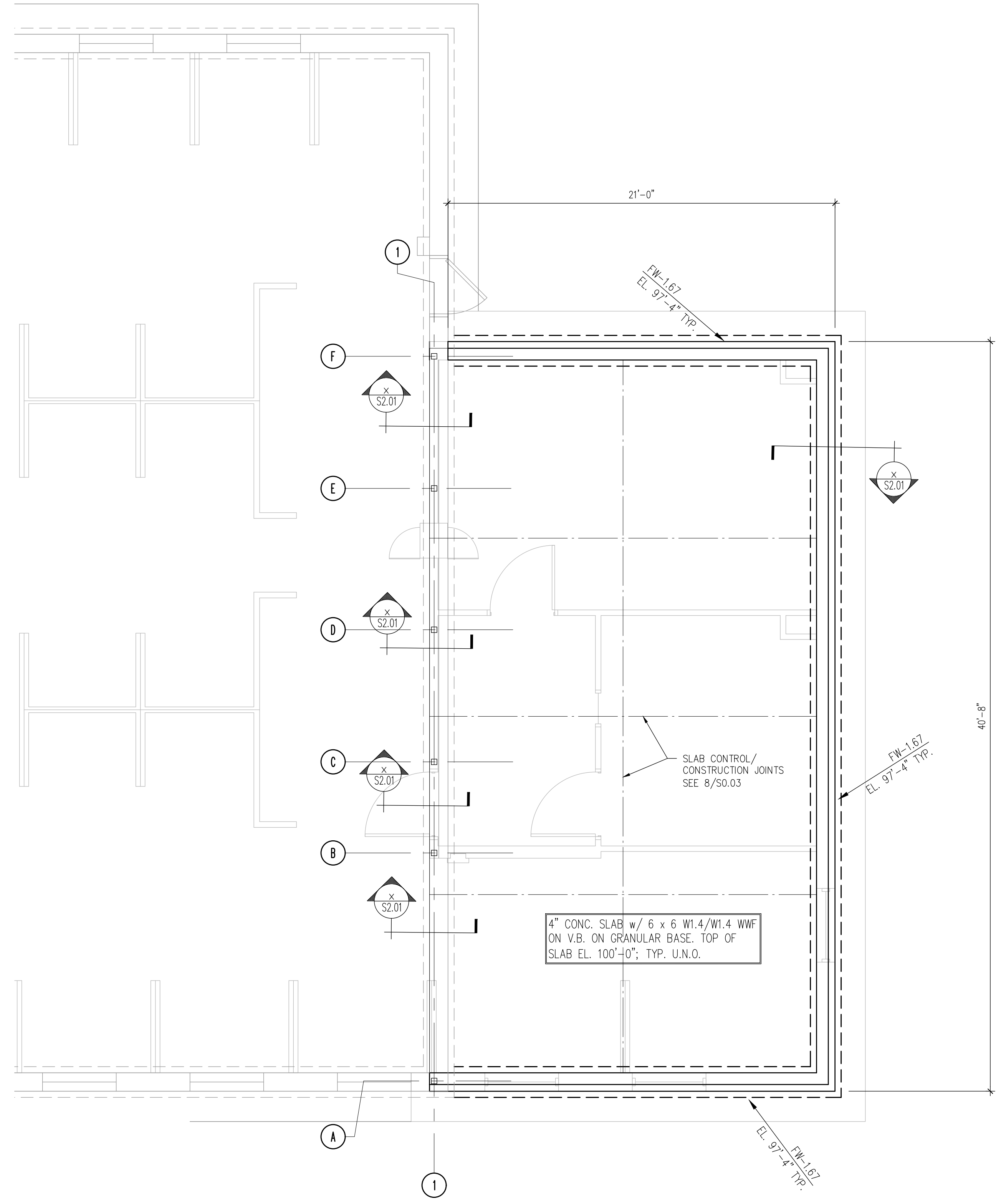
MARK	SIZE	REINFORCING	NOTES
FW-2.0	24" WD. x 12" DP.	2 #4 CONT. BOT.	
FSP-1	--	--	SEE DETAIL
FSP-2	--	--	SEE DETAIL

FTS-? = THICKENED SLAB FOOTING	E.W. = EACH WAY	WD. = WIDE (WALL FTG.)
FW-? = CONT. WALL FOOTING	S.W. = SHORT WAY (SHORT DIRECTION)	SQ. = SQUARE (PAD)
F? = COLUMN PAD FOOTING	L.W. = LONG WAY (LONG DIRECTION)	CONT. = CONTINUOUS
FM-? = MAT FOOTING	DP. = DEEP (DEPTH OF FOOTING)	BOTT. = BOTTOM

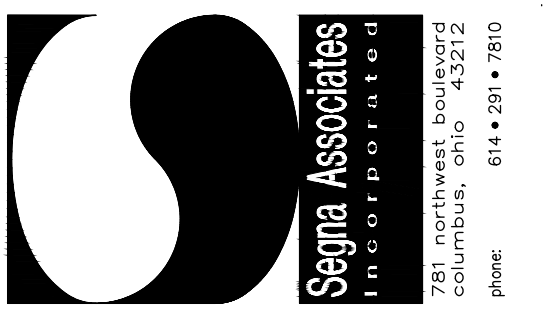
- ### FOUNDATION NOTES
1. REFER TO GENERAL STRUCTURAL NOTES, SHEETS SO.01-SO.03, FOR TYPICAL INSTALLATION REQUIREMENTS AND DETAILS NOT SHOWN ON THIS DRAWING.
 2. REFERENCE ELEVATION: TOP OF CONCRETE SLAB ON GRADE = 100'-0".
 3. ABSOLUTE ELEVATION: SEE ARCHITECTURAL DRAWINGS.
 4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS; TYP. U.N.O.
 5. FOUNDATION DESIGN IS BASED UPON THE GEOTECHNICAL ENGINEERING REPORT, REFER TO GENERAL STRUCTURAL NOTES. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THIS REPORT, IN ENTIRETY, PRIOR TO THE INSTALLATION OF FOUNDATIONS. THE REPORT MAY CONTAIN ADDITIONAL SITE AND FOUNDATION INSTALLATION REQUIREMENTS, NOT INDICATED ON THESE DRAWINGS, THAT ARE REQUIRED TO BE COMPLETED.
 6. FOUNDATION DESIGN CRITERIA: CONVENTIONAL SPREAD FOOTINGS.
 7. ALLOWABLE SOIL BEARING PRESSURE = 3.0 KSF
 8. PLACE NO CONCRETE PRIOR TO INSPECTION AND APPROVAL OF SOILS CONDITIONS BY GEOTECHNICAL ENGINEER.
 9. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL DE-WATERING SERVICES, AS REQUIRED, TO KEEP WATER OUT OF FOUNDATION EXCAVATIONS.
 10. DIMENSIONS TYPICALLY ARE TO EXTERIOR FACE OF MASONRY, CONCRETE, INTERIOR FACE OF STUD, MASONRY, CONCRETE, CENTERLINE OF COLUMN.
 11. CONCRETE SLABS SHALL BE PLACED ON VAPOR BARRIER ON A FREE-DRAINING AGGREGATE BASE. THE DRAINAGE COURSE SHALL BE A MINIMUM 4" THICK AND BE COMPACTED PER PROJECT SPECIFICATIONS. DO NOT PLACE CONCRETE BEFORE INSPECTION AND APPROVAL OF DRAINAGE COURSE BY SOILS ENGINEER, U.N.O. REFER TO ARCHITECTURAL DRAWINGS FOR VAPOR BARRIER LOCATION AND REQUIREMENTS.
 12. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WITH SITE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS PRIOR TO THE PLACEMENT OF FOUNDATION CONCRETE. THIS INCLUDES BUT IS NOT LIMITED TO: DOOR OPENINGS IN FOUNDATION WALLS, DRAINS, SLAB SLOPES, SLAB DEPRESSIONS, SLAB BLOCK-OUTS, UNDERGROUND PLUMBING, ELECTRIC, AND HVAC, FOUNDATION SLEEVE REQUIREMENTS, SPRINKLER LINES.
 13. UNLESS NOTED OTHERWISE, THE FOLLOWING ARE TYPICAL INSTALLATION REQUIREMENTS:
 - a) FOOTING STEPS PER 3/SO.03
 - b) CORNER BARS ARE REQUIRED AT ALL FOOTING AND WALL LOCATIONS PER 2/SO.03
 - c) HOLD FOUNDATION WALL DOWN AND PLACE SLAB THROUGH DOOR OPENINGS PER 5/SO.03
 - d) COORDINATE UTILITY AND PLUMBING/PIPING INSTALLATION WITH FOUNDATION INSTALLATION PER 1/SO.03
 - e) INSTALL REINFORCEMENT IN CONFORMANCE WITH DEVELOPMENT, SPLICE, AND HOOK REQUIREMENTS PER SO.02
 - f) MOISTURE PROOF ALL CONCRETE STEM AND BASEMENT WALLS PER ARCHITECTURAL DRAWINGS & SPECIFICATIONS
 14. REFER TO GENERAL STRUCTURAL NOTES FOR ABBREVIATIONS AND STRUCTURAL LEGENDS.



- ### STRUCTURAL KEYNOTES
- K1. INSTALL FOUNDATION DOWELS AND SOLID GROUTING AT ALL SHEAR WALL HOLD DOWN ANCHOR LOCATIONS. REFER TO ROOF FRAMING PLAN FOR ANCHOR LOCATIONS. REFER TO 1/S2.04 FOR INSTALLATION REQUIREMENTS.
 - K2. INSTALL STEEL ANGLES TO SUPPORT STEM WALL. SEE 3/S2.01.



FOUNDATION PLAN
3/16" = 1'-0"



Sigma Associates
INCORPORATED
725 NORTHWEST SQUARE
COLUMBUS, OHIO 43212
Phone: 614-291-7910

Consultants:
GENESIS PLANNING & DESIGN
INTERIOR PLANNING/DESIGN
BIRD & BULL, LTD
CIVIL ENGINEER
WALTERS & ASSOCIATES
STRUCTURAL ENGINEER
PRATER ENGINEERING ASSOC. INC.
PLUMBING, HVAC, ELECTRICAL ENGINEER

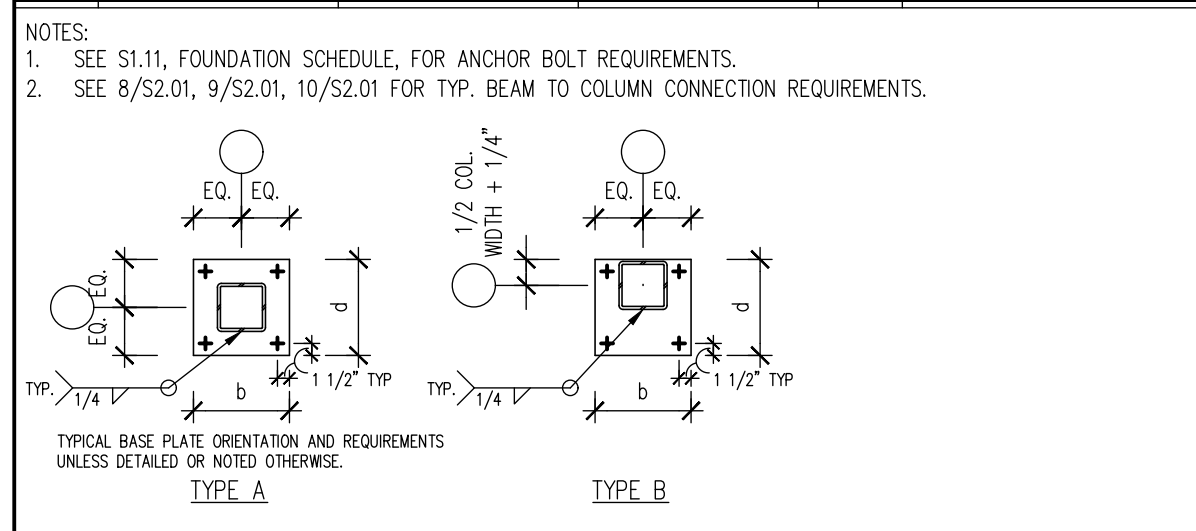
Project Reference: #19007
COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION
810 JASONWAY AVE.
COLUMBUS, OH 43214

Project Status:
 Planning
 Schematic Design
 Design Development
 Bids And Permits
 CD Progress
 Revisions

Date: 21 JAN 2020

Sheet Reference:
FOUNDATION PLAN
S1.11

STEEL COLUMN SCHEDULE					
MARK	SIZE	BASE PLATE	ANCHOR RODS	TYPE	NOTES
C1	HSS 8 x 8 x 1/4	1" x 16" x 16"	(4) 1"φ x 18" L.G.	A	
C2	HSS 6 x 6 x 1/4	3/4" x 12" x 12"	(4) 3/4"φ x 14" L.G.	B	
C3	HSS 4 x 4 x 1/4	3/4" x 12" x 12"	(4) 3/4"φ x 14" L.G.	A	

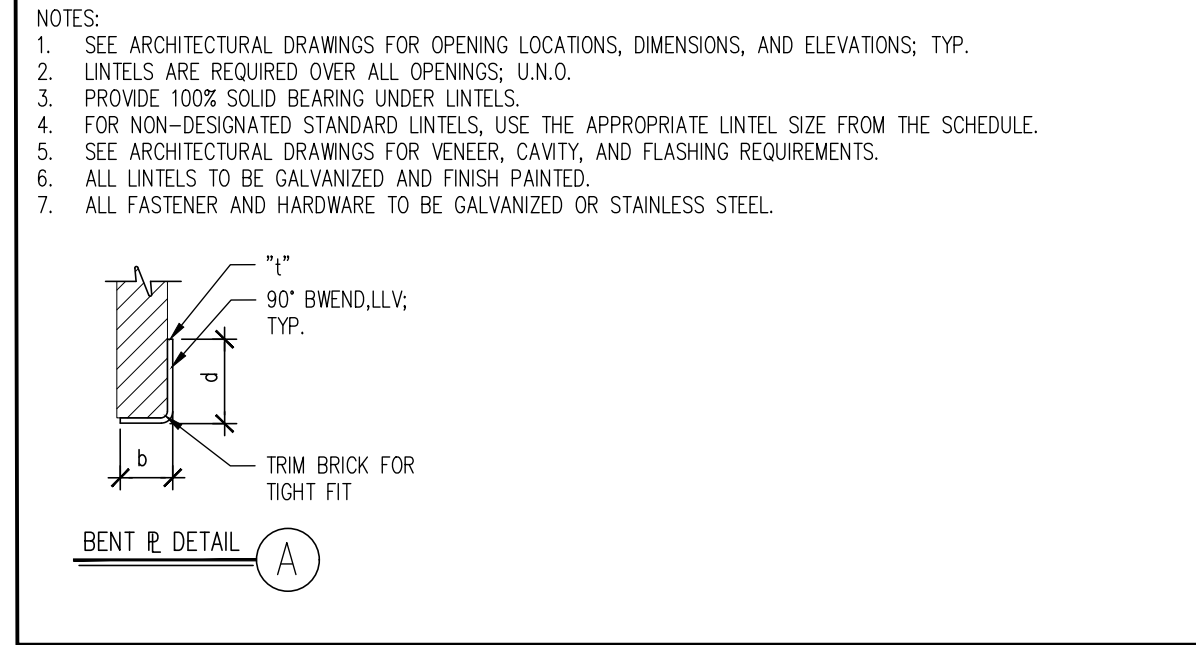


STEEL BEAM SCHEDULE				
MARK	SIZE	ELEVATION (TOP OF STEEL)	R	NOTES
B1	WT6 x 26	EL. 113'-8 3/8"	15k	--
B2	WT2 x 16	EL. 113'-10 7/8"	4k	--
B3	WT2 x 16	EL. 113'-10 7/8"	4k	--
B4	WT6 x 26	EL. 111'-6 1/2"	7k	--
B5	WB x 24	EL. 111'-6 1/2"	9k	--

NOTES:

- CONFIRM ALL ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
- "SL" INDICATES SLOPED BEAM CONNECTION.
- "R" INDICATES UNFACTORED BEAM REACTION IN KIPS. DESIGN BEAM CONNECTION FOR INDICATED REACTION. ALL TAB CONNECTION ARE TO HAVE A MIN. OR (2) 3/4"φ A325 BOLTS. REACTIONS NOT SHOWN INDICATE VALUE LESS THAN (2) BOLT CONNECTION VALUE.
- SEE 8/SZ.01 THRU 10/SZ.01 FOR TYP. BEAM CONNECTION REQUIREMENTS.

BRICK LINTEL SCHEDULE				
MARK	SECTION (t x b x d)	TYPE	BEARING	REMARKS
RL1	L 4" x 3 1/2" x 5/16" LLV	J	4"	LOOSE ANGLE LINTEL
RL2	L 7" x 4" x 3/8" LLV	J	8"	LOOSE ANGLE LINTEL
RL3	3/8" x 5" x 10"	J	8"	LOOSE LINTEL, SEE DETAIL A
RL4				



ROOF FRAMING LEGEND	
(A)	INDICATES COLUMN GRID, LOCATED AT CENTERLINE OF CONCRETE COLUMN. U.N.O., ALL COLUMNS AND FOOTINGS ARE CENTERED ON COLUMN GRID.
BL	INDICATES BUILDING LINE, FACE OF BUILDING.
CA	INDICATES LOCATION OF COLUMN ABOVE
PLP	INDICATES PILASTER LOCATION.
(+??)	INDICATES NON-TYPICAL TOP OF STEEL ELEVATION.
xxx	INDICATES SPAN DIRECTION & SIZE OF METAL DECKING
HP	HEADER MARK. SEE SCHEDULE.
BF	BEAM MARK. SEE SCHEDULE.
C?	COLUMN MARK MARK. SEE SCHEDULE.
WF	C.F.M.F. WALL STUD MARK. SEE SCHEDULE.
K?	STRUCTURAL KEY NOTE MARK. SEE SCHEDULE.
MF	MOMENT CONNECTION MARK.

POST AND SHEAR WALL FRAMING LEGEND	
(??-?)	INDICATES DESIGNATED SHEAR WALL LOCATION. WALLS LINES ARE IDENTIFIED AS SHADED WALLS THAT ARE DARKER THAN BACKGROUND. REFER TO SHEAR WALL DETAIL SHEET S2.04.
(??-?)	INDICATES SHEAR WALL LENGTH. IF NO LENGTH IS SPECIFIED, SHEAR WALL TO EXTEND TO FACE OF ADJACENT OPENING AND/OR EXTERIOR EDGE OF BUILDING CORNER.
SWW	SHEAR WALL MARK. SEE SHEET S2.04.

ROOF FRAMING NOTES	
1.	REFER TO GENERAL STRUCTURAL NOTES, SHEETS S0.01-S0.03, FOR TYPICAL INSTALLATION REQUIREMENTS AND DETAILS NOT SHOWN ON THIS DRAWING.
2.	DESIGN ROOF LOAD: 25 PSF UNIFORM SNOW LOAD + DRIFTING.
3.	DESIGN WIND LOAD: 10 PSF NET UNIFORM UPLIFT LOAD.
4.	ROOF CONSTRUCTION: 1.5822 METAL DECK ON STEEL BAR JOIST
5.	WALL CONSTRUCTION: CWF STUDS - SEE SCHEDULE
6.	TOP OF STEEL ELEV.: SEE SCHEDULE
7.	REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS; TYP. U.N.O.
8.	NO FIELD MODIFICATIONS TO STEEL BAR JOISTS IS PERMITTED. DO NOT CUT, DRILL, OR NOTCH JOIST WEB OR FLANGE WITHOUT WRITTEN APPROVAL FROM MANUFACTURER OR ENGINEER.
9.	INSTALL STEEL FRAMES AT ROOF OPENINGS PER 1/SZ.02.
10.	REINFORCE JOISTS AT CONCENTRATED LOADS PER 2/SZ.02.
11.	DIMENSIONS TYPICALLY ARE TO EXTERIOR FACE OF MASONRY, CONCRETE, SHEATHING, INTERIOR FACE OF STUD, MASONRY, CONCRETE, CENTERLINE OF COLUMN.
12.	REFER TO SHEET S2.03 FOR MINIMUM INSTALLATION REQUIREMENTS FOR LIGHT GAUGE FRAMING INSTALLATIONS (C.F.M.F.).
13.	REFER TO GENERAL STRUCTURAL NOTES FOR ABBREVIATIONS AND STRUCTURAL LEGENDS.

WALL STUD SCHEDULE - C.F.M.F.			
MARK	SIZE AND SPACING	Fy	NOTES
W1	600-S-162-54 @ 16" O.C.	50 KSI	CONT. BRIDGING AT MID-SPAN
W2	600-S-162-68 @ 16" O.C.	50 KSI	CONT. BRIDGING AT MID-SPAN

NOTES:

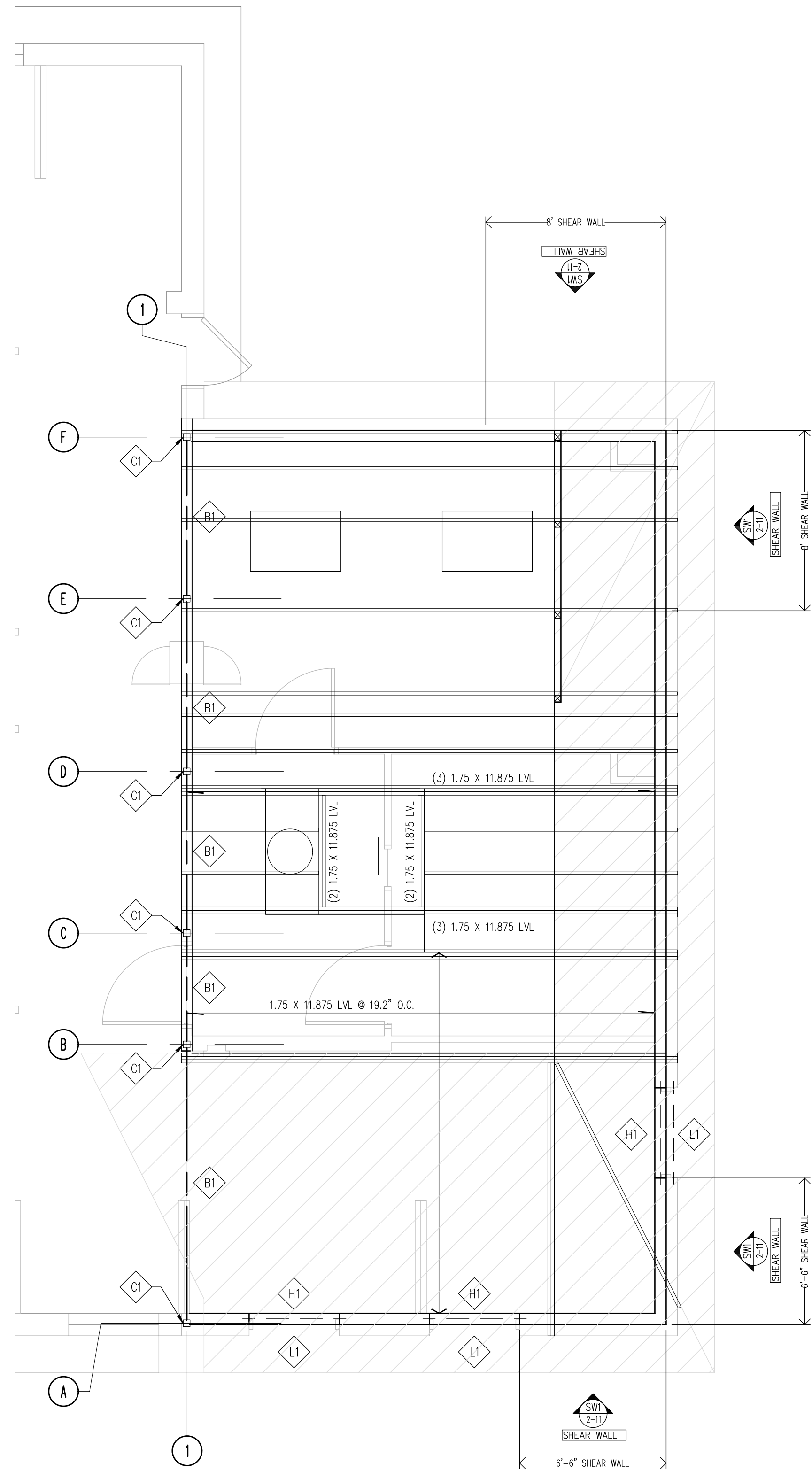
- SPECIFIED STUD SIZE IS REQUIRED FOR ENTIRE WALL LENGTH INDICATED; U.N.O.
- MECHANICAL BRIDGING REQUIRED PER 1/SZ.03.
- ALL STUDS HAVE A CONTINUOUS TRACK TOP & BOTTL, U.N.O.
- ALL STUDS ARE PUNCHED, 1.5" x 4" LG. OVAL HOLE @ 24" O.C., U.N.O.
- PUNCHED HOLES, EDGE OF HOLE, ARE NOT PERMITTED TO BE WITHIN 6" OF STUD END BEARING.
- REINFORCE STUD END BEARING CONDITIONS, DUE TO FIELD DAMAGE OR PUNCH LOCATIONS.
- SEE SHEET S2.03 FOR INSTALLATION REQUIREMENTS.

HEADER/BEAM SCHEDULE - C.F.M.F.						
MARK	SIZE AND SPACING	Fy	TYPE	WEB STIFF.	JAMB STUDS	NOTES
H1	(2) 600-S-162-68	50 KSI	BOX-2	YES	JS: (1) 600-S-162 KS: (1) 600-S-162	
H2	(2) 800-S-162-68	50 KSI	BOX-2	YES	JS: (1) 600-S-162 KS: (2) 600-S-162	
H3	(2) 1000-S-162-68	50 KSI	BOX-2	YES	JS: (1) 600-S-162 KS: (3) 600-S-162	

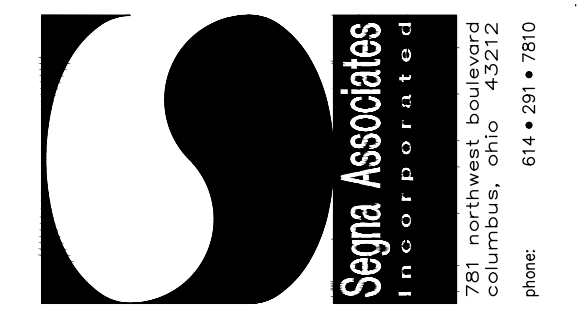
NOTES: TYPE: "BOX-2" = BOX TYPE HEADER WITH CONT. TRACK TOP & BOTTL, MIN. 18 GA. U.N.O. TYPE: "BACK-2" = BACK-TO-BACK TYPE HEADER WITH CONT. TRACK TOP & BOTTL, MIN. 18 GA. U.N.O. ** INDICATES QUANTITY OF HEADER MEMBERS.

- SEE 2/SZ.03 FOR MINIMUM HEADER FRAMING REQUIREMENTS; U.N.O.
- JACK AND KING STUD GA. (MILS) SHALL BE SAME AS ADJACENT WALL FRAMING; U.N.O. IN SCHEDULE.
- JS: = JACK STUD(S) KS: = KING STUD(S)

STRUCTURAL KEYNOTES	
1.	CONT. JOIST BRIDGING PER S.A. ANCHOR ENDS OF JOIST BRIDGING TO STRUCTURE; TYP. INSTALL JOIST UPLIFT BRIDGING PER 5/SZ.02, 6/SZ.02.
2.	METAL ROOF DECK; TYP. ENTIRE ROOF AREA, TYP. U.N.O. SEE 11/SZ.01.
3.	MC x 5.7 CANTILEVERED OUTRIGGER, SEE 16/SZ.02.
4.	MC x 5.7 CANTILEVERED OUTRIGGER, SEE 17/SZ.02 FOR CORNER FRAMING REQUIREMENTS.
5.	L4 x 4 CANTILEVERED OUTRIGGER, SEE 10/SZ.01.
6.	L4 x 4 CANTILEVERED OUTRIGGER, FIELD CUT TO MATCH ADJACENT JOIST FRAMING. TOP OF STEEL ELEVATION AND SLOPE TO MATCH ADJACENT STEEL JOIST TOP OF STEEL ELEVATION. LOCATE ON CL OF COLUMN AND WELD COLUMN w/3/16" FILLET WELD, ALL AROUND.



ROOF FRAMING PLAN
1/4" = 1'-0"



Consultants:
GENESIS PLANNING & DESIGN
 INTERIOR PLANNING/DESIGN
BIRD & BULL, LTD
 CIVIL ENGINEER
WALTERS & ASSOCIATES
 STRUCTURAL ENGINEER
PRAETER ENGINEERING ASSOC. INC.
 PLUMBING, HVAC, ELECTRICAL ENGINEER

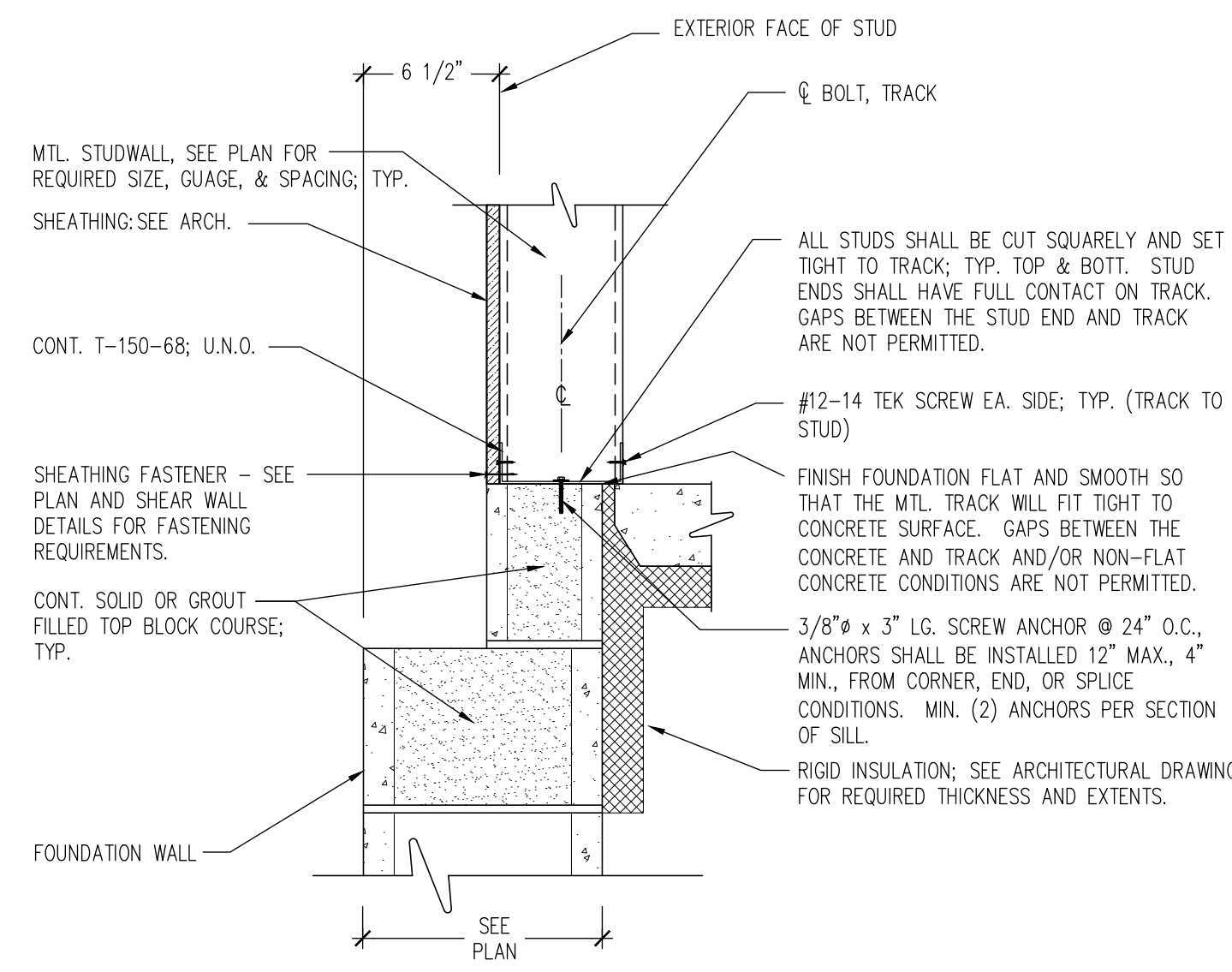
Project Reference: #19007
COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION
 810 JASONWAY AVE.
 COLUMBUS, OH 43214

Project Status:
 Planning
 Schematic Design
 Design Development
 Bids And Permits
 CD Progress
 Revisions

Date: 21 JAN 2020

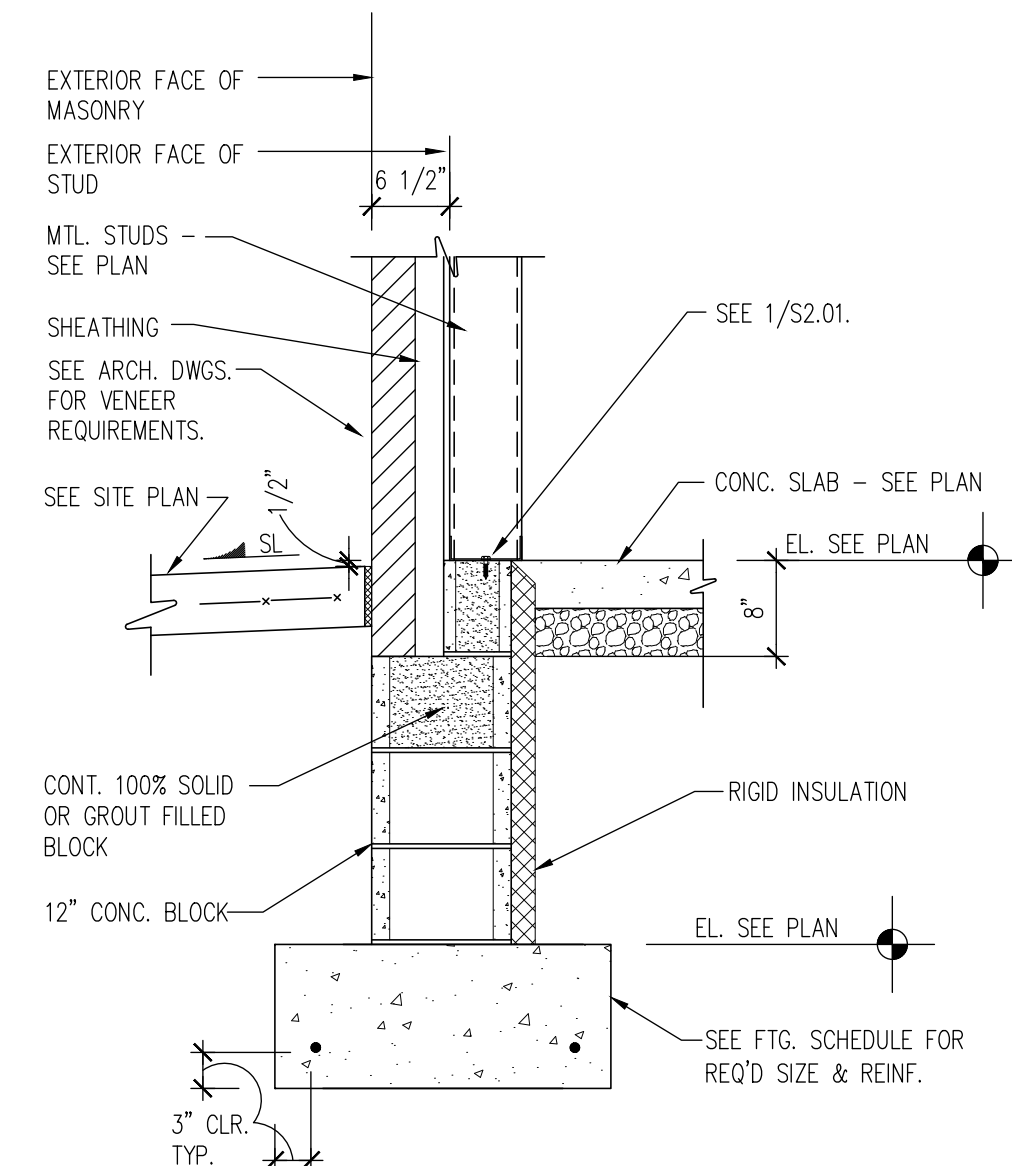
Sheet Reference:
ROOF FRAMING PLAN

S1.21

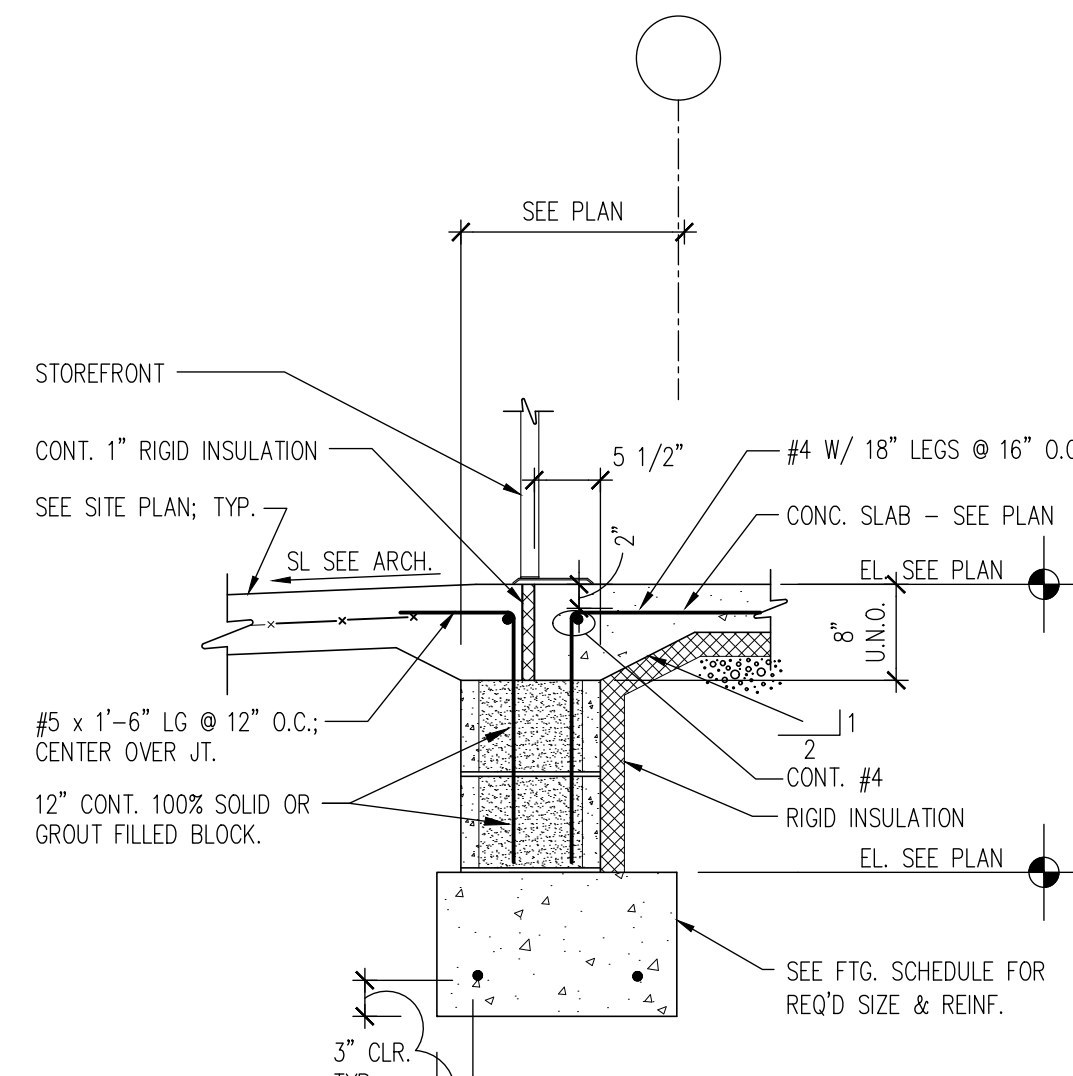


TYPICAL REQUIREMENTS APPLICABLE FOR ALL PERIMETER FOUNDATIONS, UNLESS NOTED OTHERWISE.

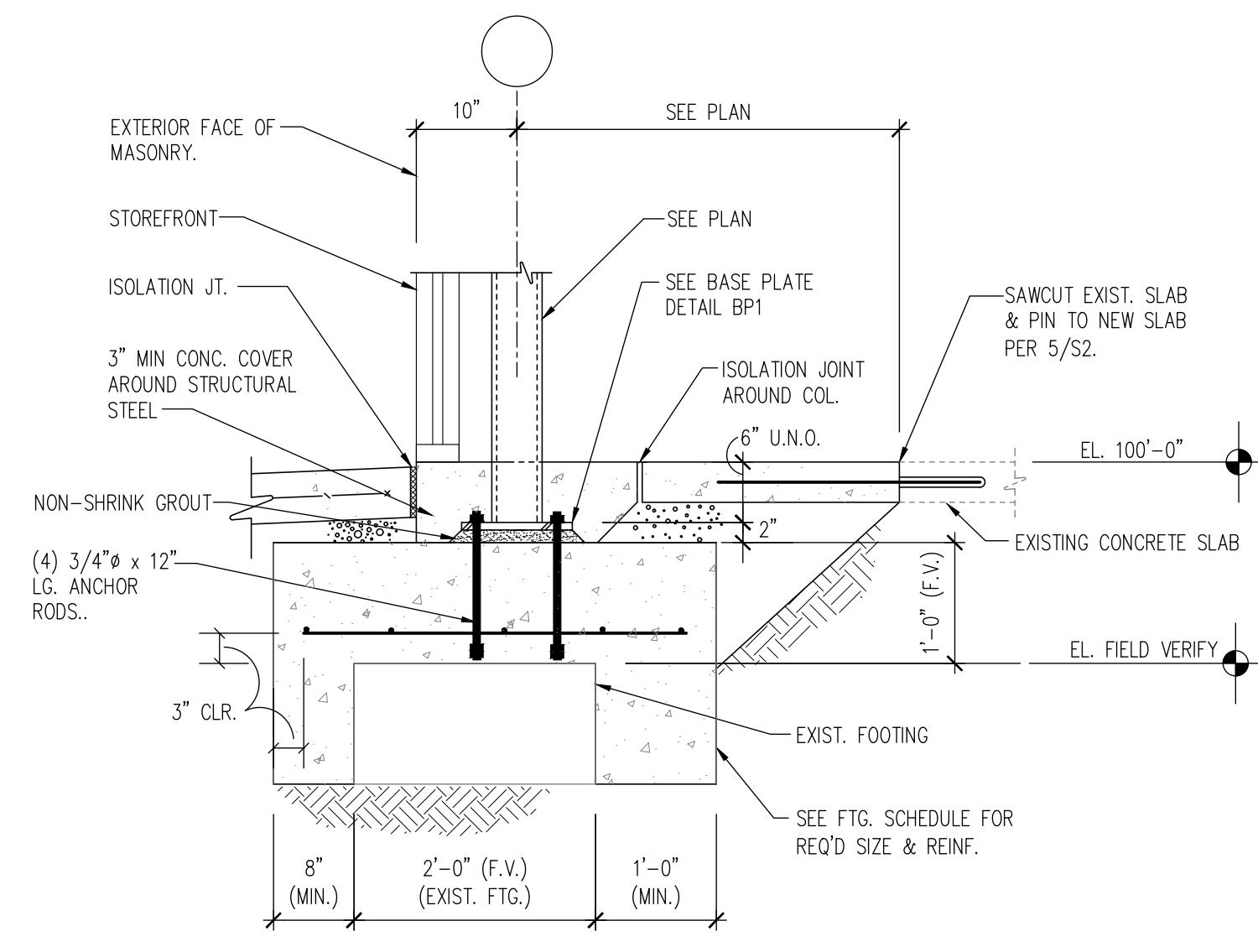
TYPICAL DETAIL 1
 3/4" = 1'-0"



SECTION 2
 3/4" = 1'-0"

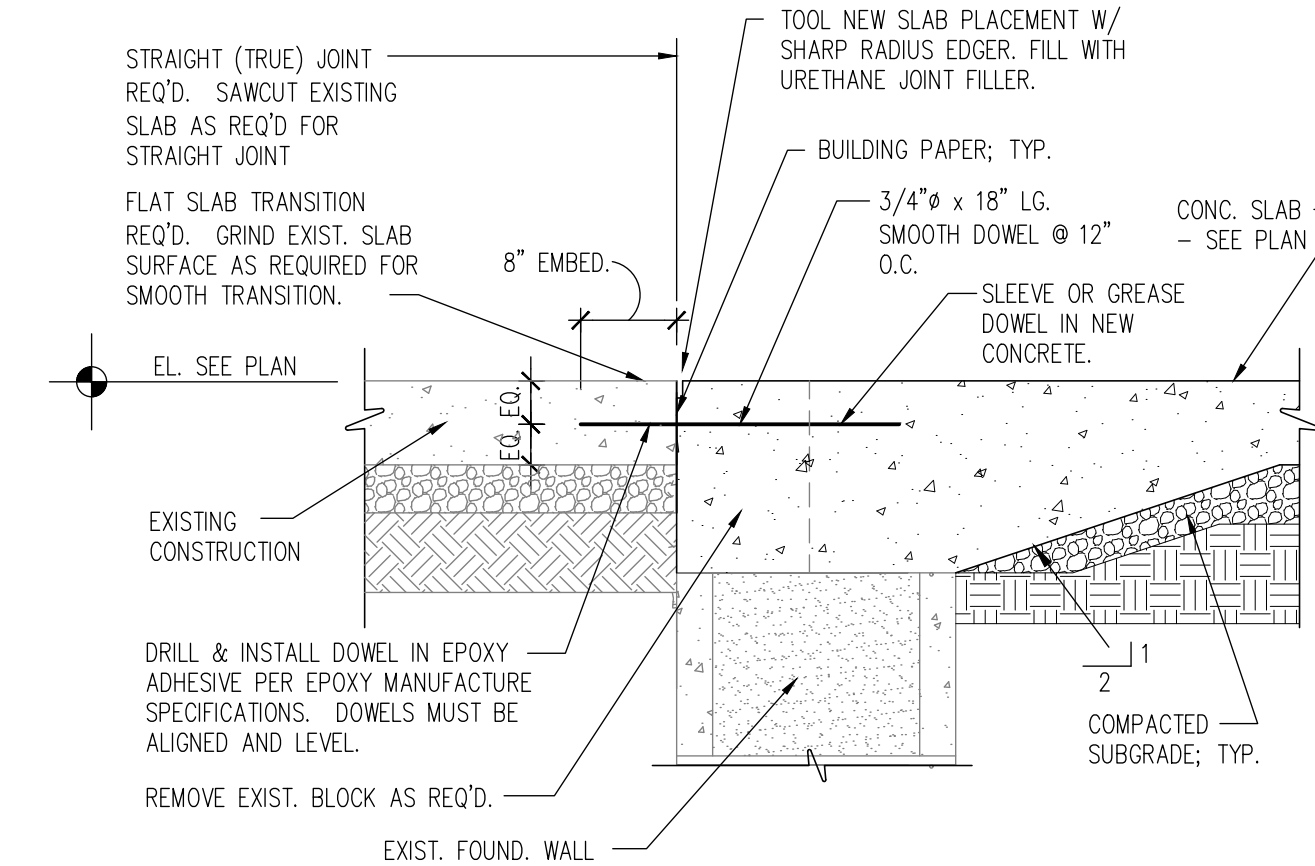
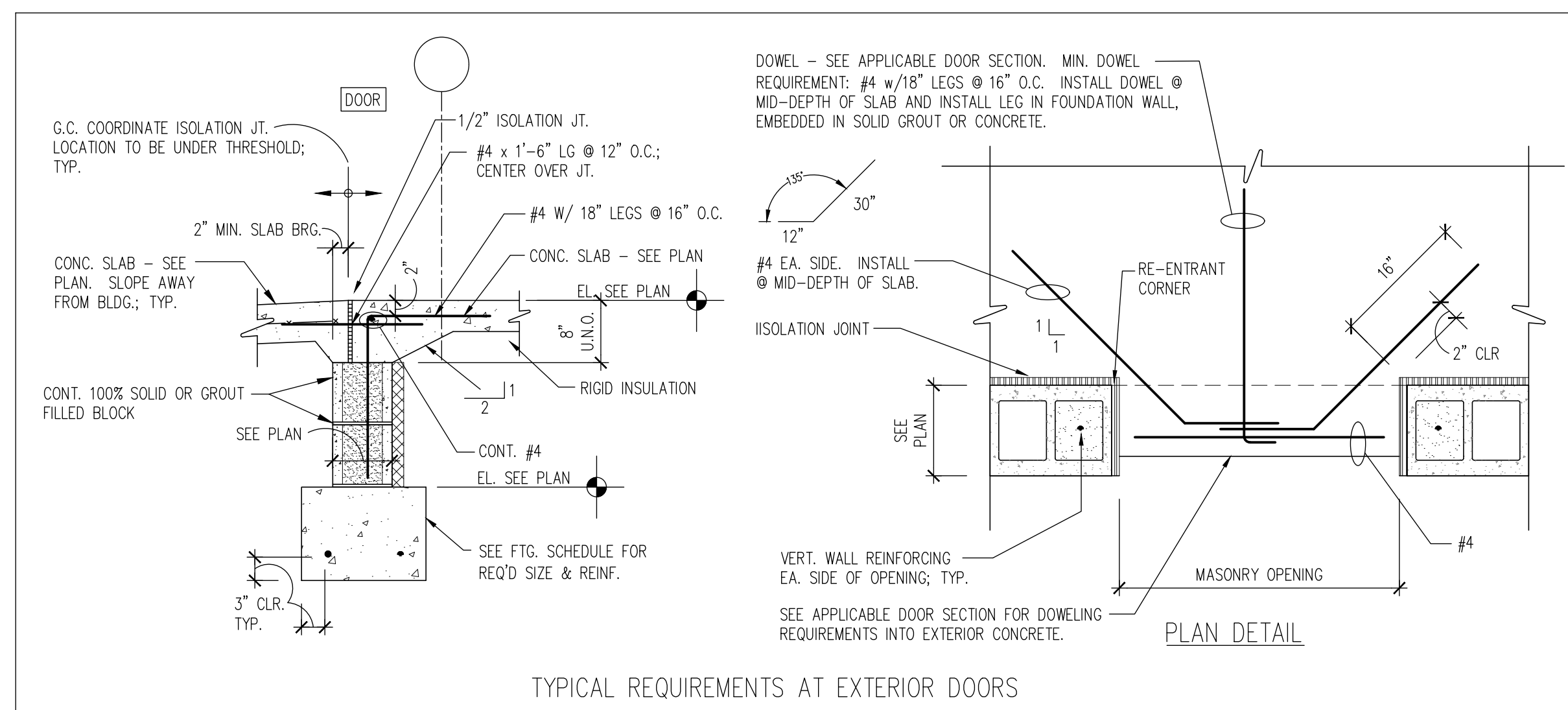


SECTION 3
 3/4" = 1'-0"

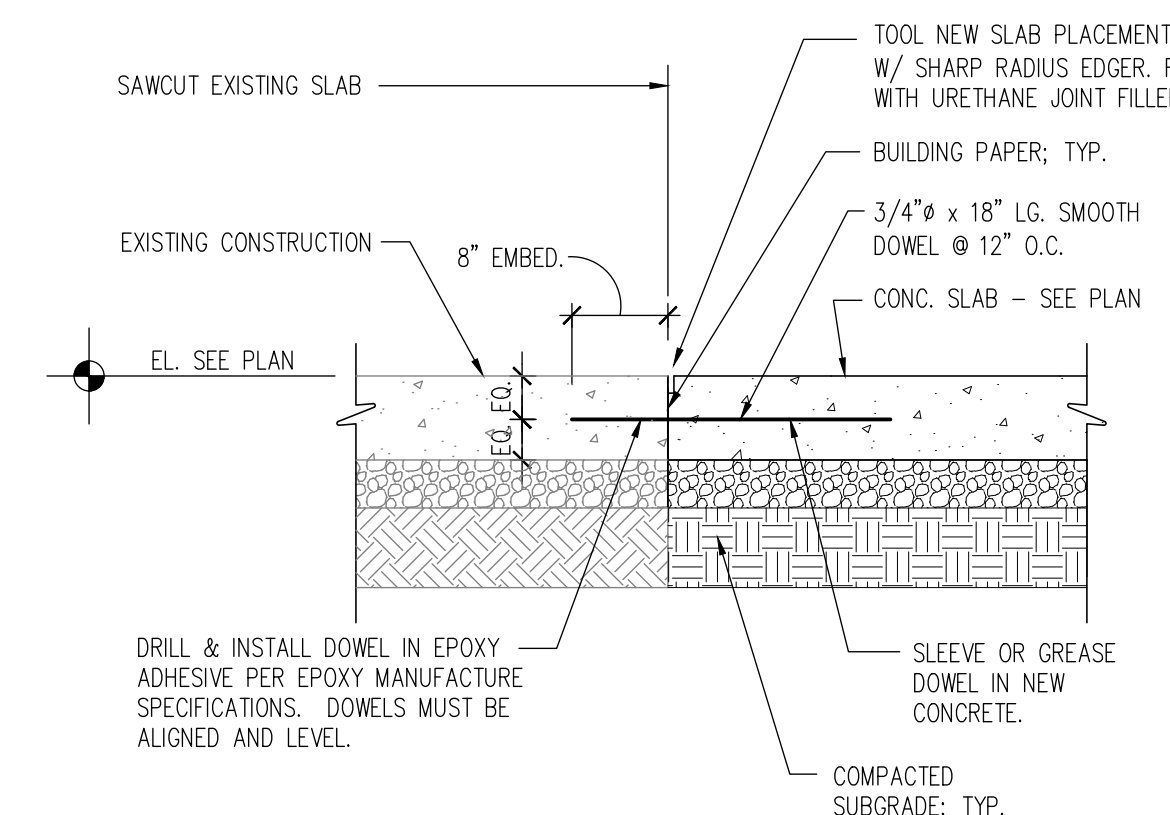


NOTE: FIELD VERIFY EXISTING FTG. ELEVATION. IF FOOTING ELEVATION IS NOT AS INDICATED, DETAIL REVISION MAY BE REQUIRED PRIOR TO PLACING CONCRETE. CONTACT ENGINEER FOR REQUIRED REVISION.

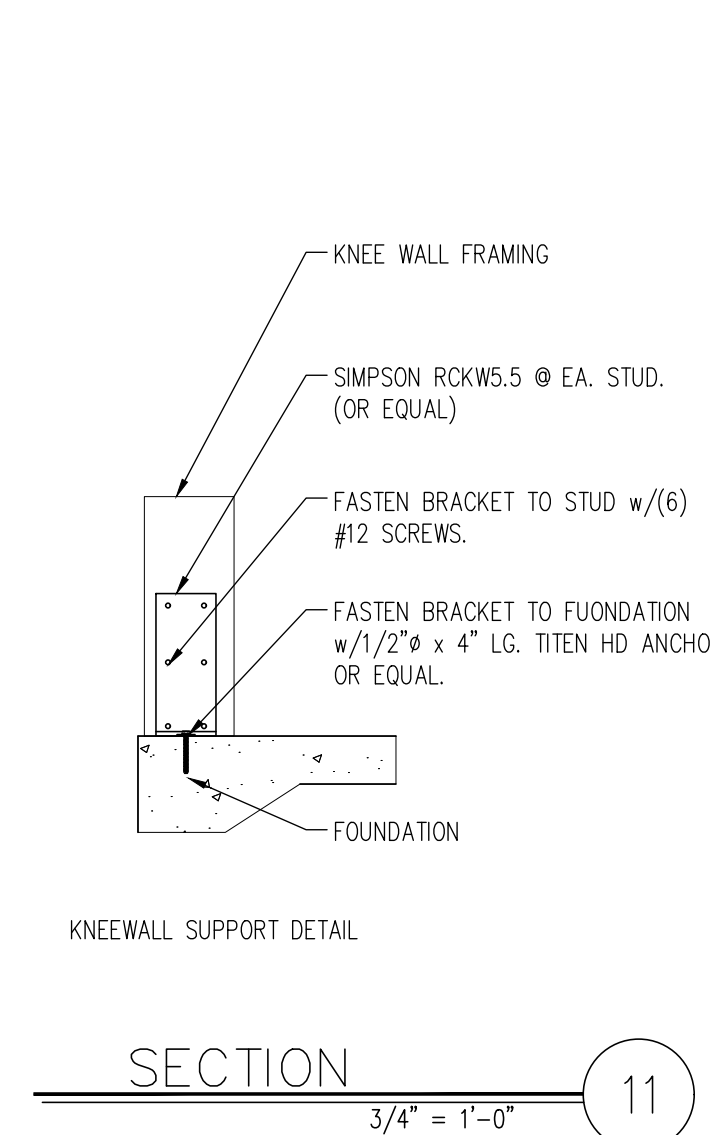
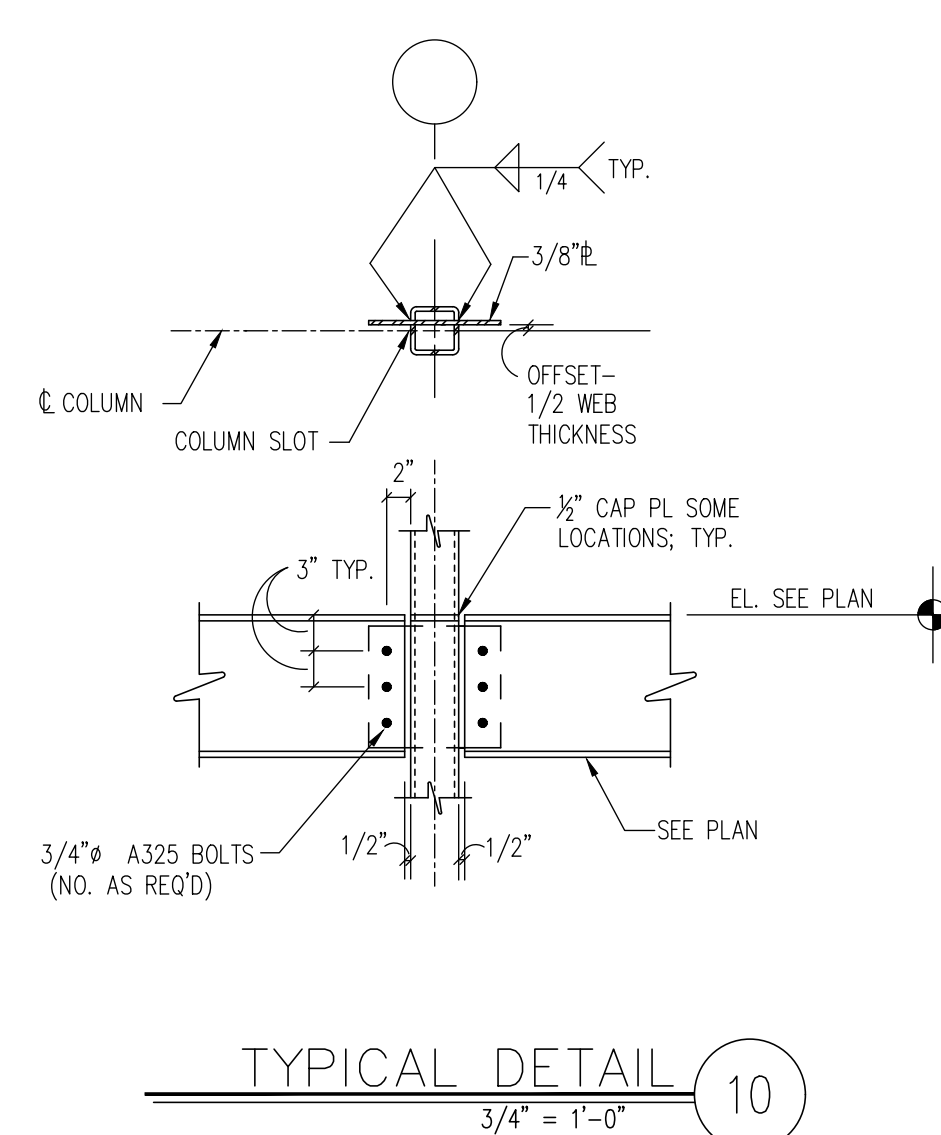
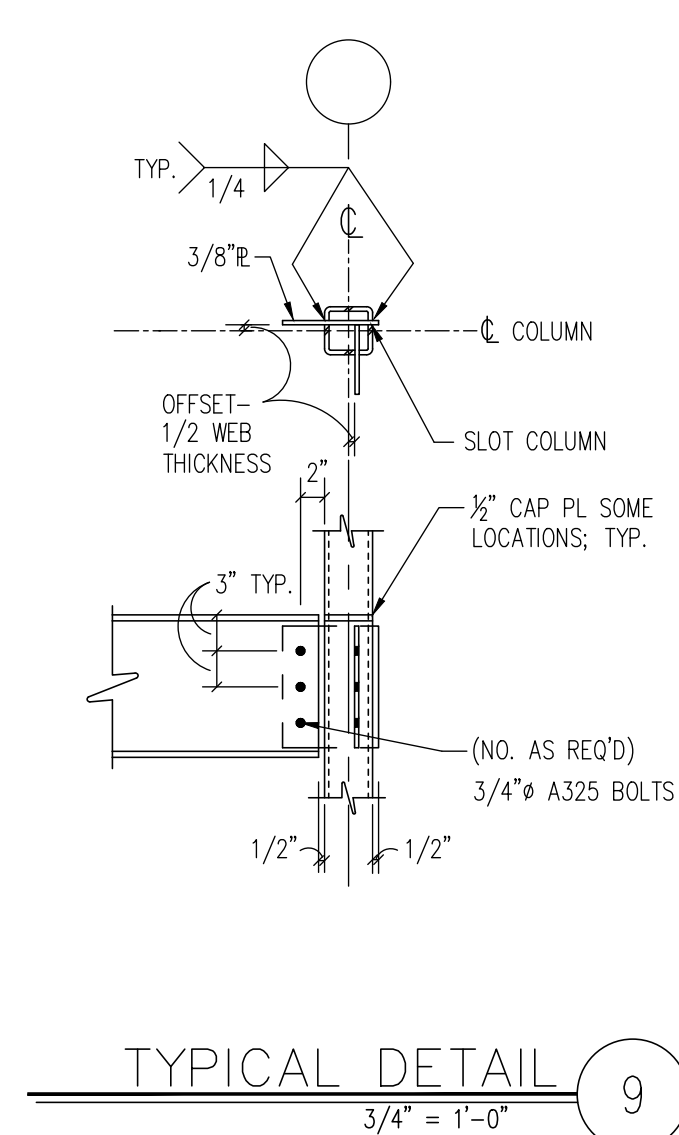
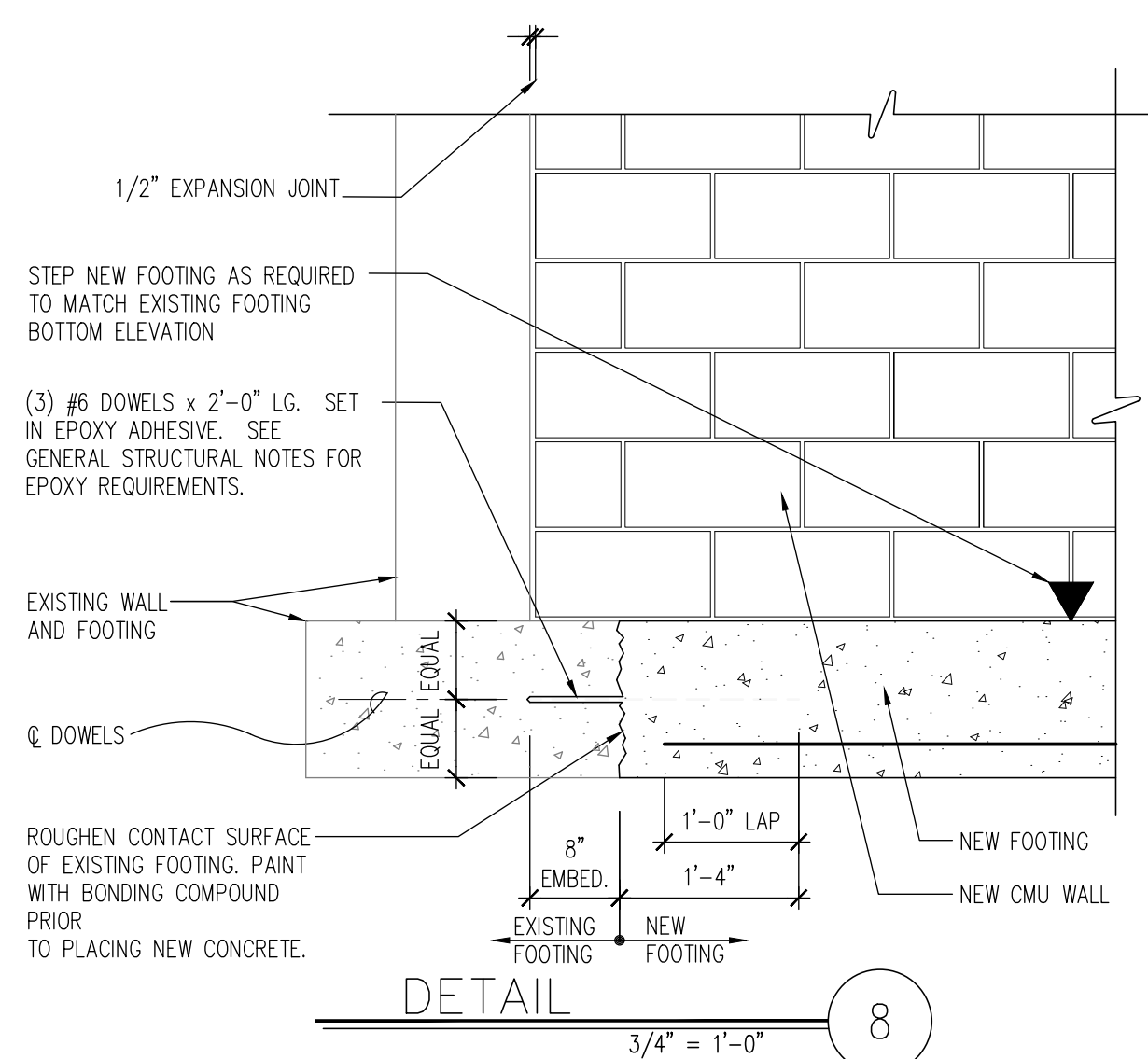
SECTION 4
 3/4" = 1'-0"



TYPICAL DETAIL 6
 3/4" = 1'-0"



TYPICAL DETAIL 7
 3/4" = 1'-0"

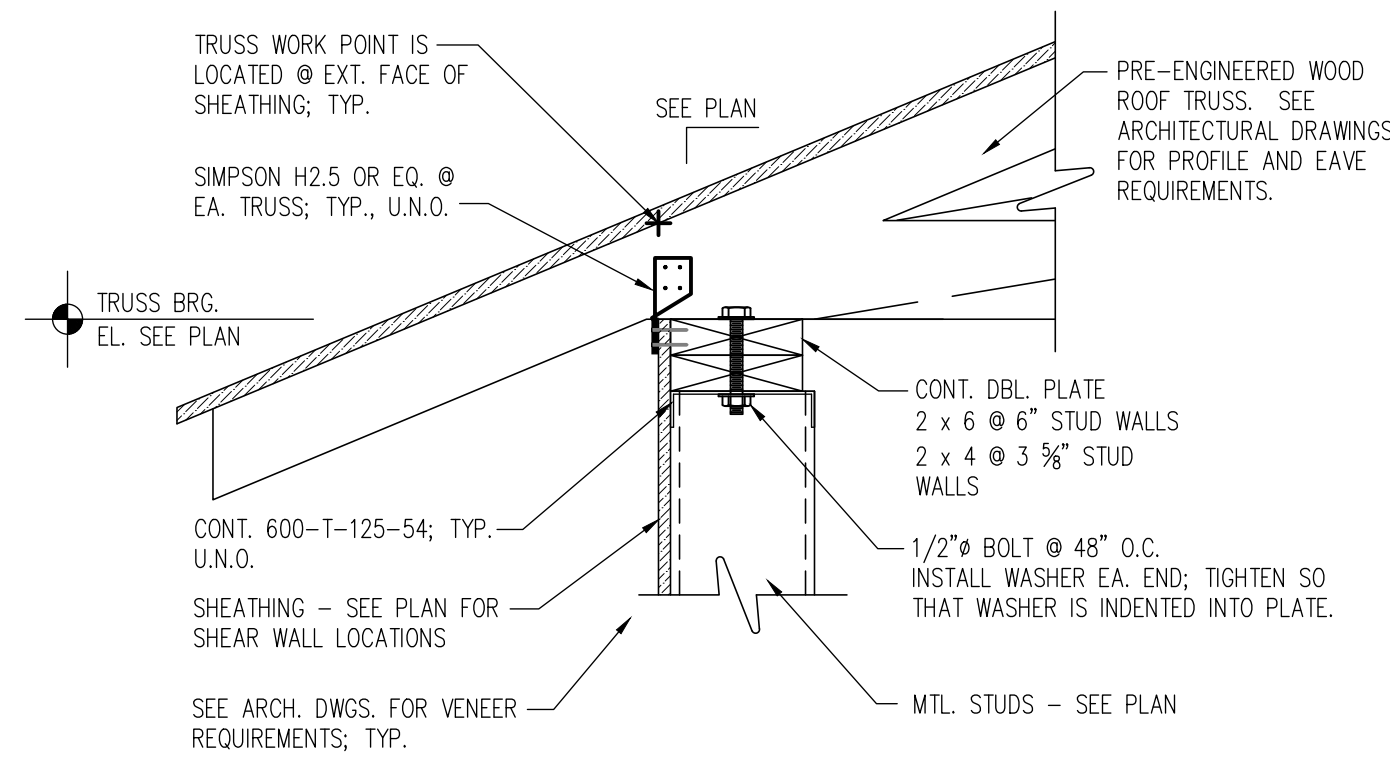


The undersigned hereby certifies that the design, specification, and preparation of the drawings and specifications herein were prepared by the undersigned or under the direct supervision and seal of the undersigned, who is a duly licensed Professional Engineer in the State of Ohio. The undersigned is not providing engineering services to any other party in connection with the project herein. The undersigned is not providing engineering services to any other party in connection with the project herein. The undersigned is not providing engineering services to any other party in connection with the project herein.

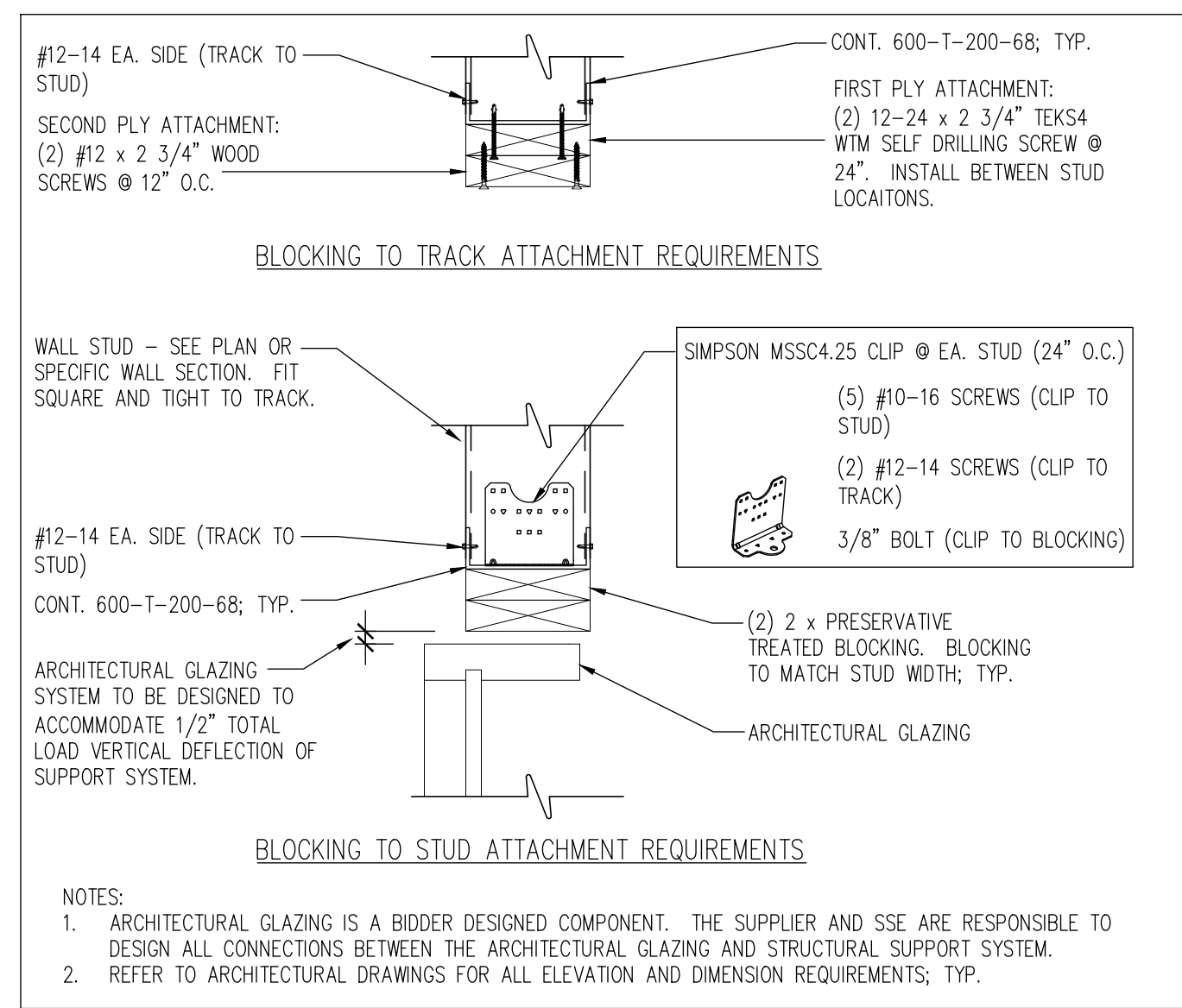
Project Reference: #19007
 CONSULTANTS:
 GENESIS PLANNING & DESIGN
 INTERIOR PLANNING/DESIGN
 BIRD & BULL, LTD
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 STRUCTURAL ENGINEER
 PRATER ENGINEERING ASSOC. INC.
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Project Status:
 Planning
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 CD Progress
 Revisions

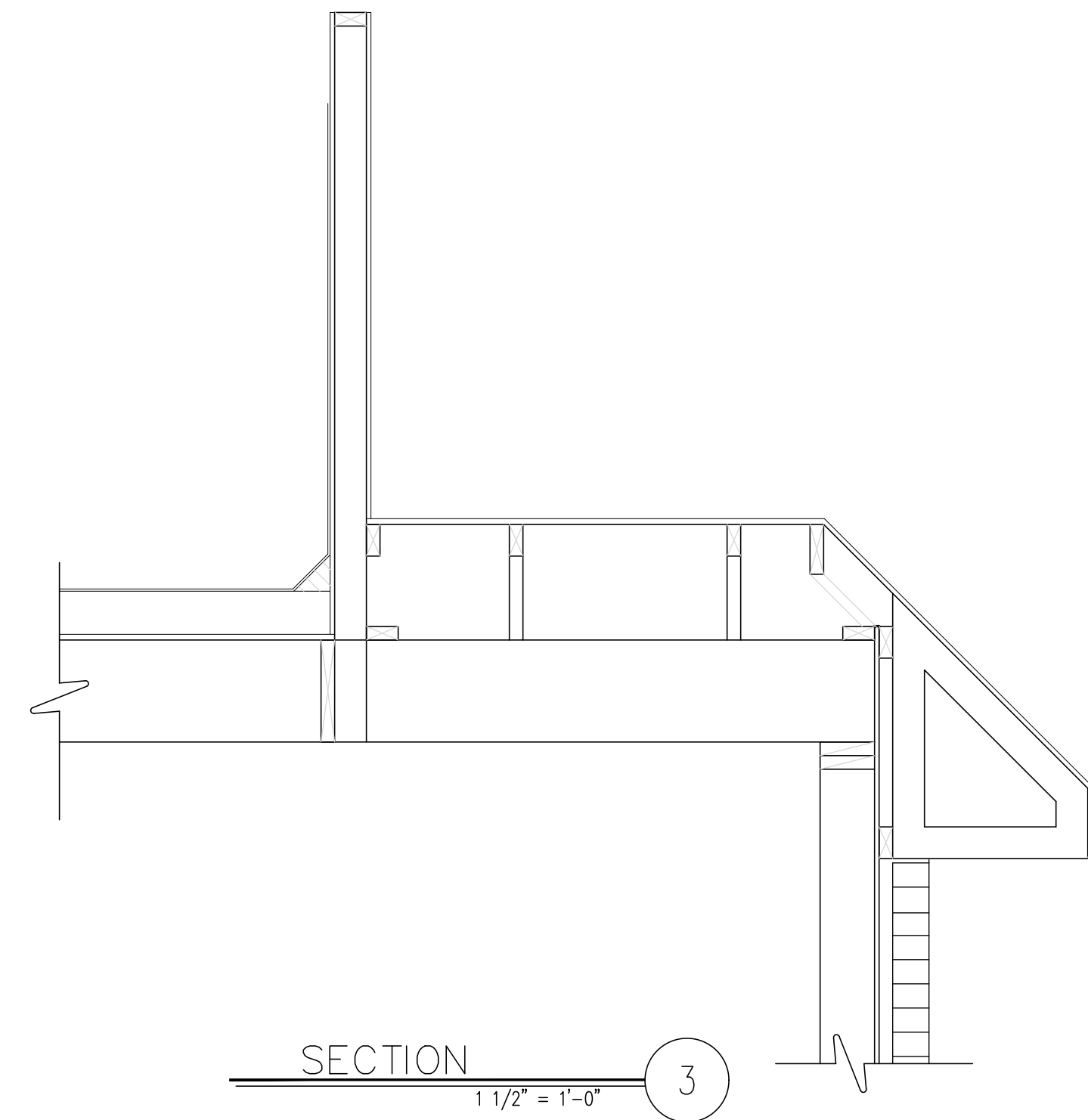
Project Reference: #19007
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 810 JASONWAY AVE.
 COLUMBUS, OH 43214
 Date: 21 JAN 2020



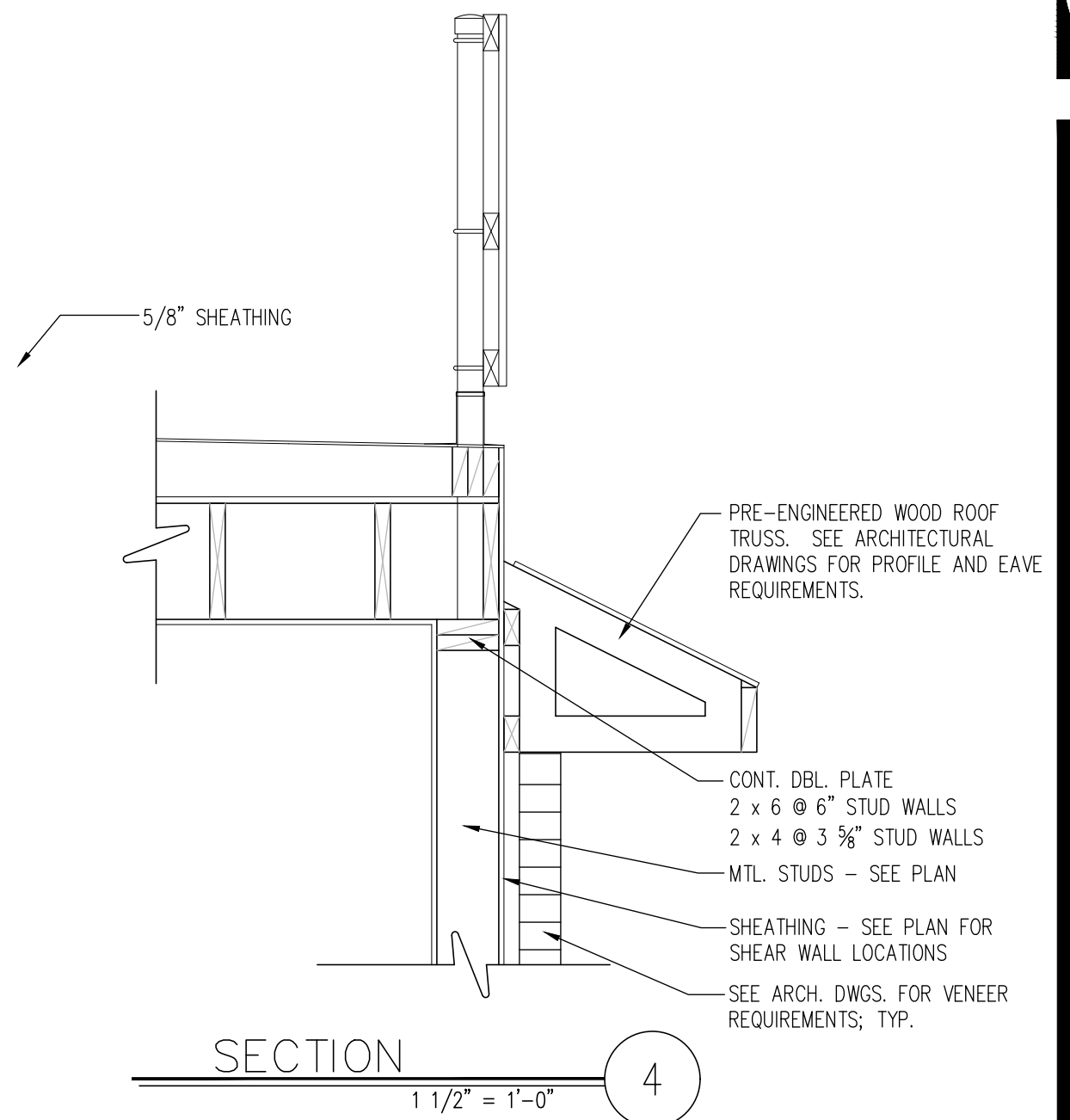
SECTION 1
1 1/2" = 1'-0"



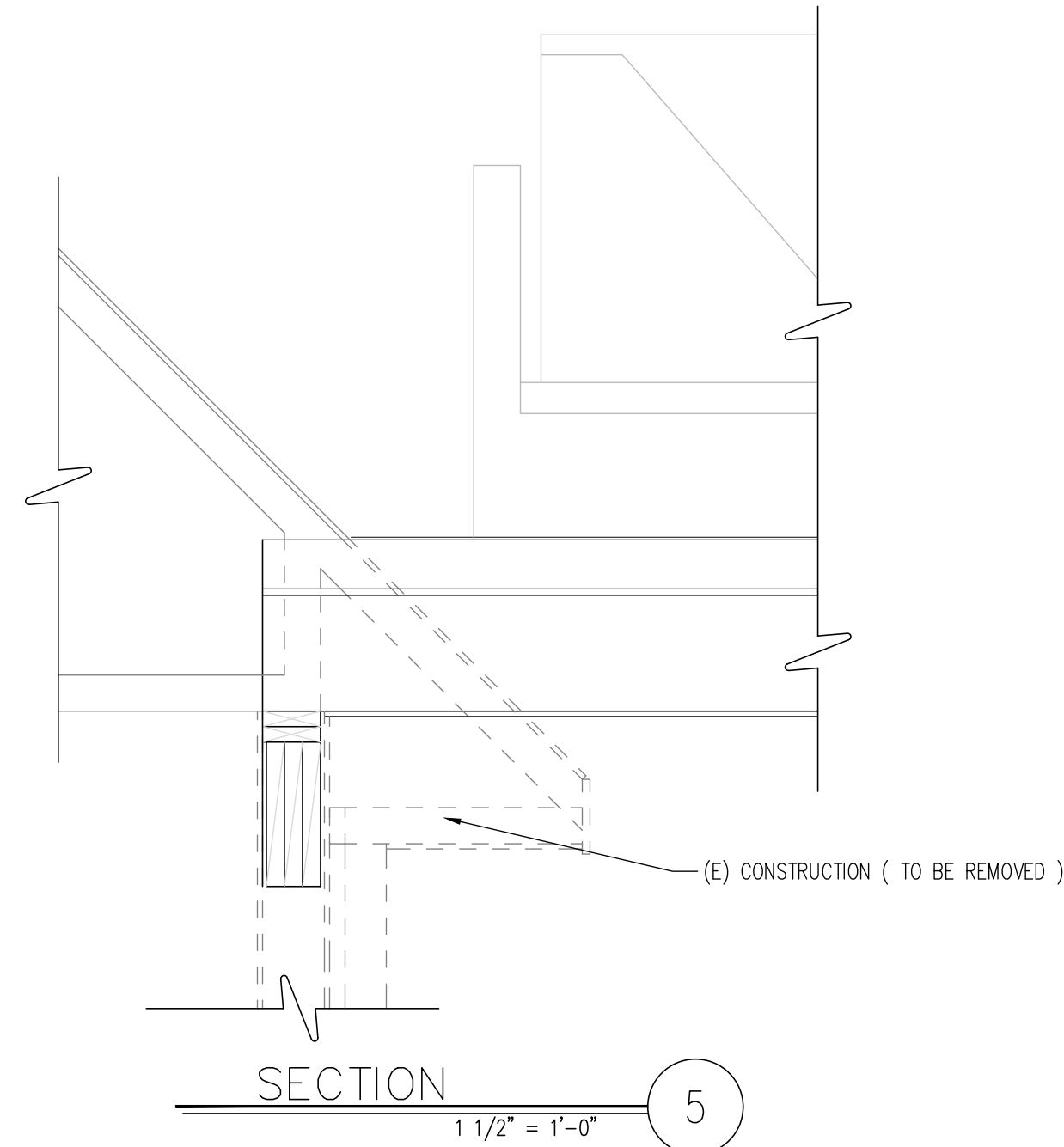
TYPICAL DETAIL 2
3/4" = 1'-0"



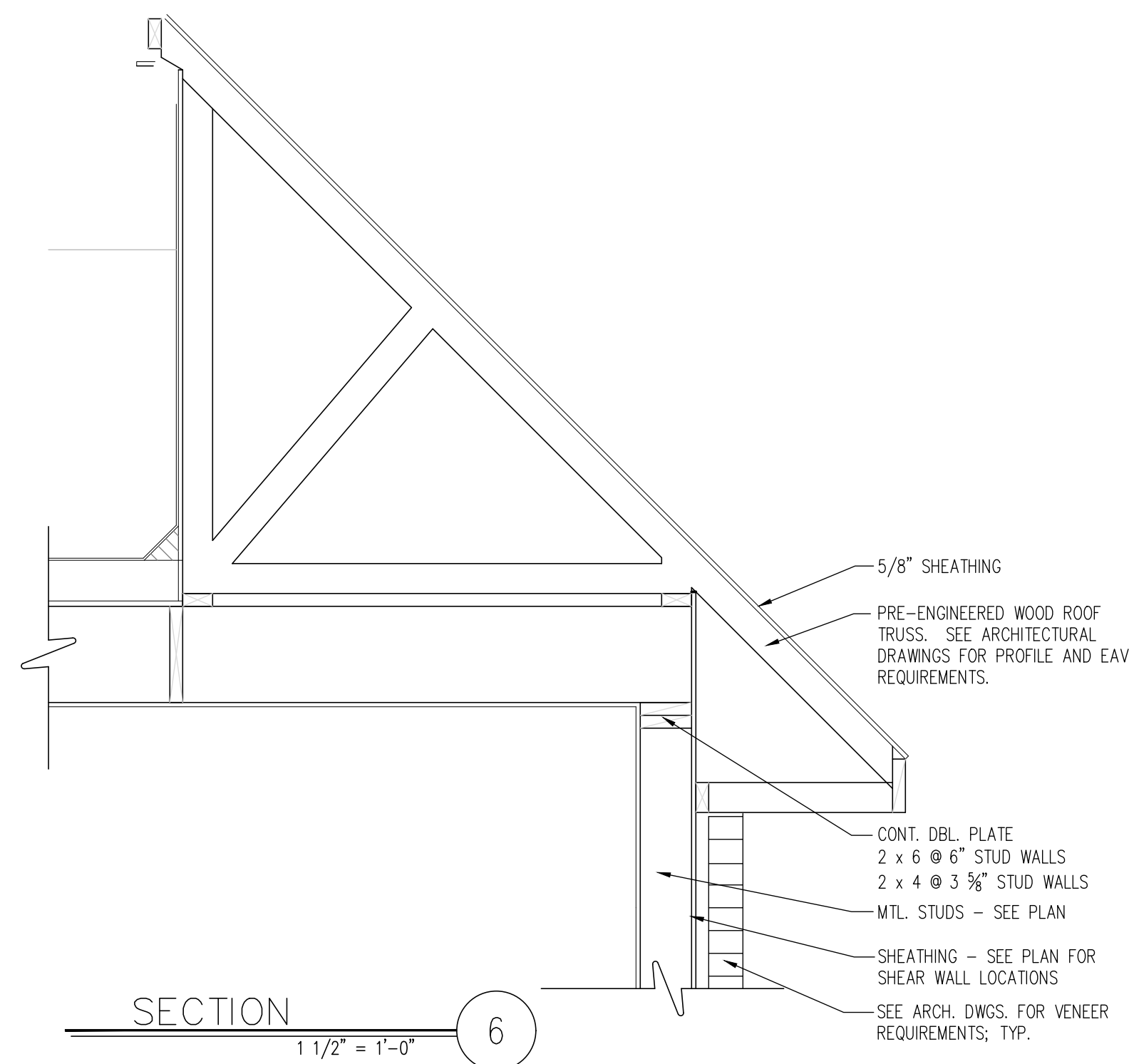
SECTION 3
1 1/2" = 1'-0"



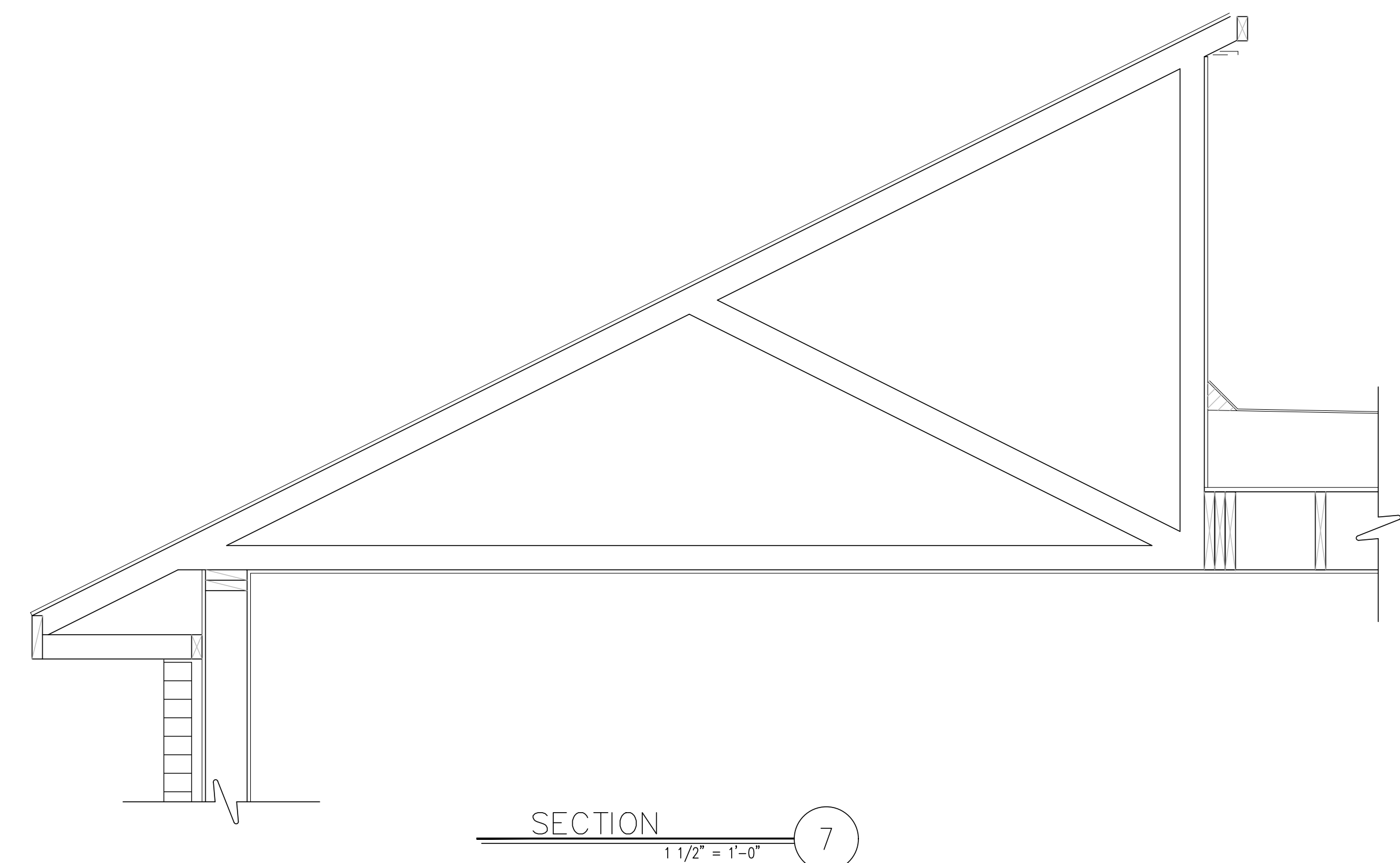
SECTION 4
1 1/2" = 1'-0"



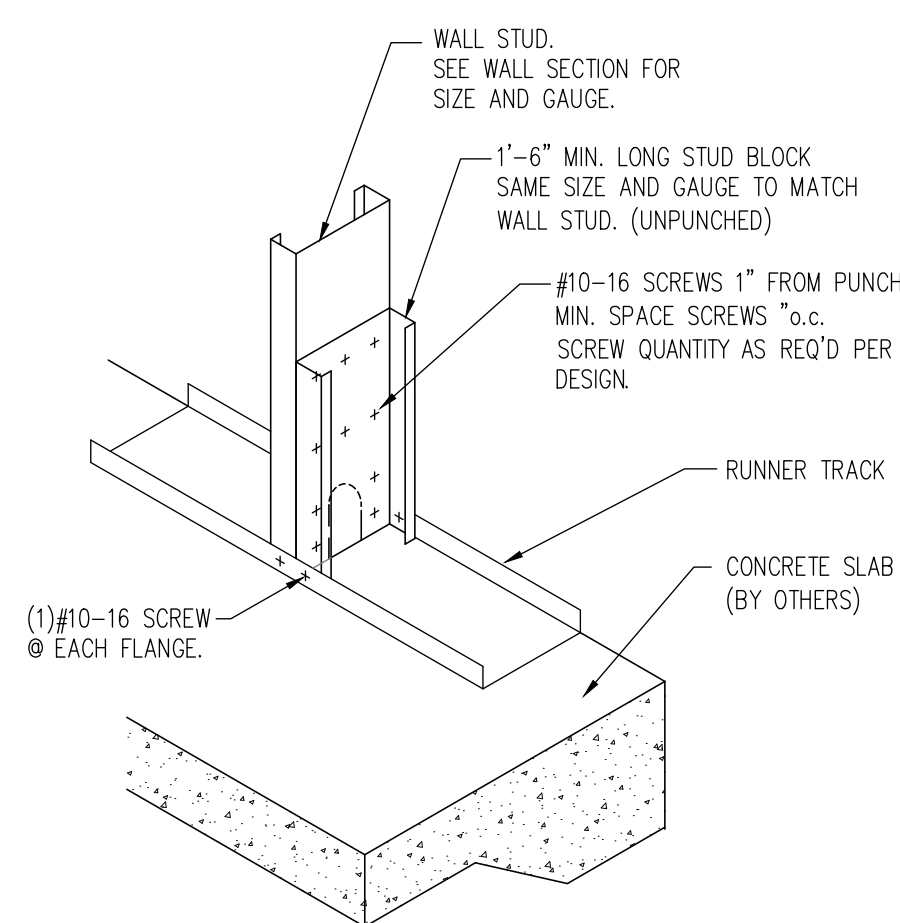
SECTION 5
1 1/2" = 1'-0"



SECTION 6
1 1/2" = 1'-0"

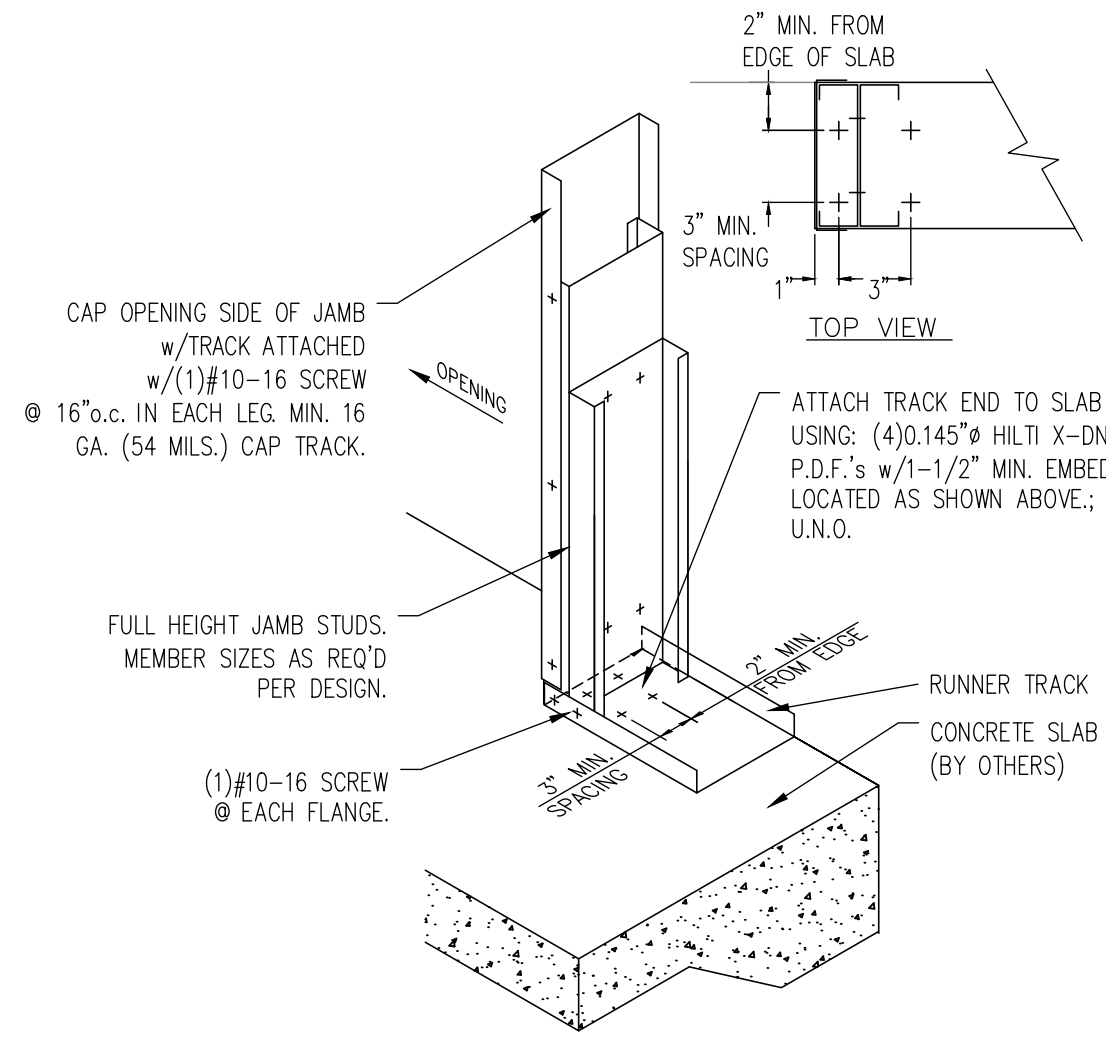


SECTION 7
1 1/2" = 1'-0"

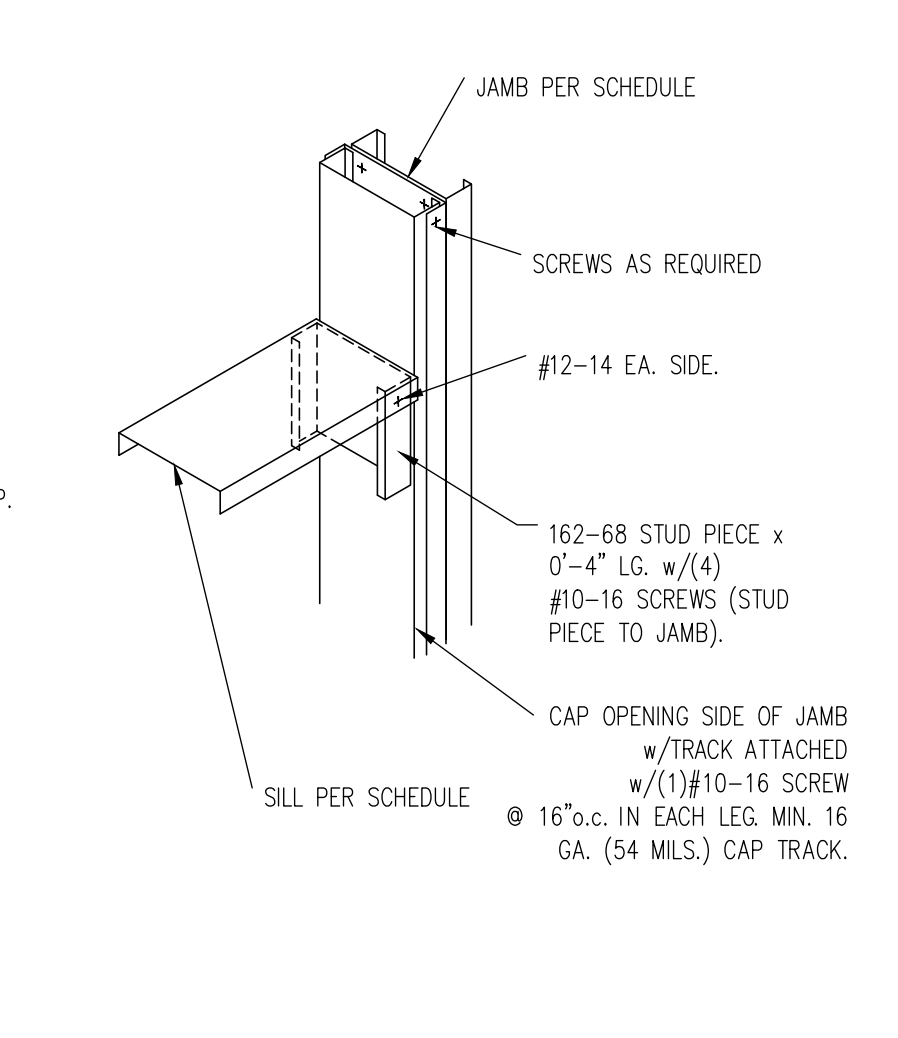


WHERE FIELD CUTS CAUSE PUNCH-OUT TO OCCUR AT STUD/RUNNER INTERSECTION, REINFORCE STUD AS SHOWN FOR SCREW ATTACHMENT.

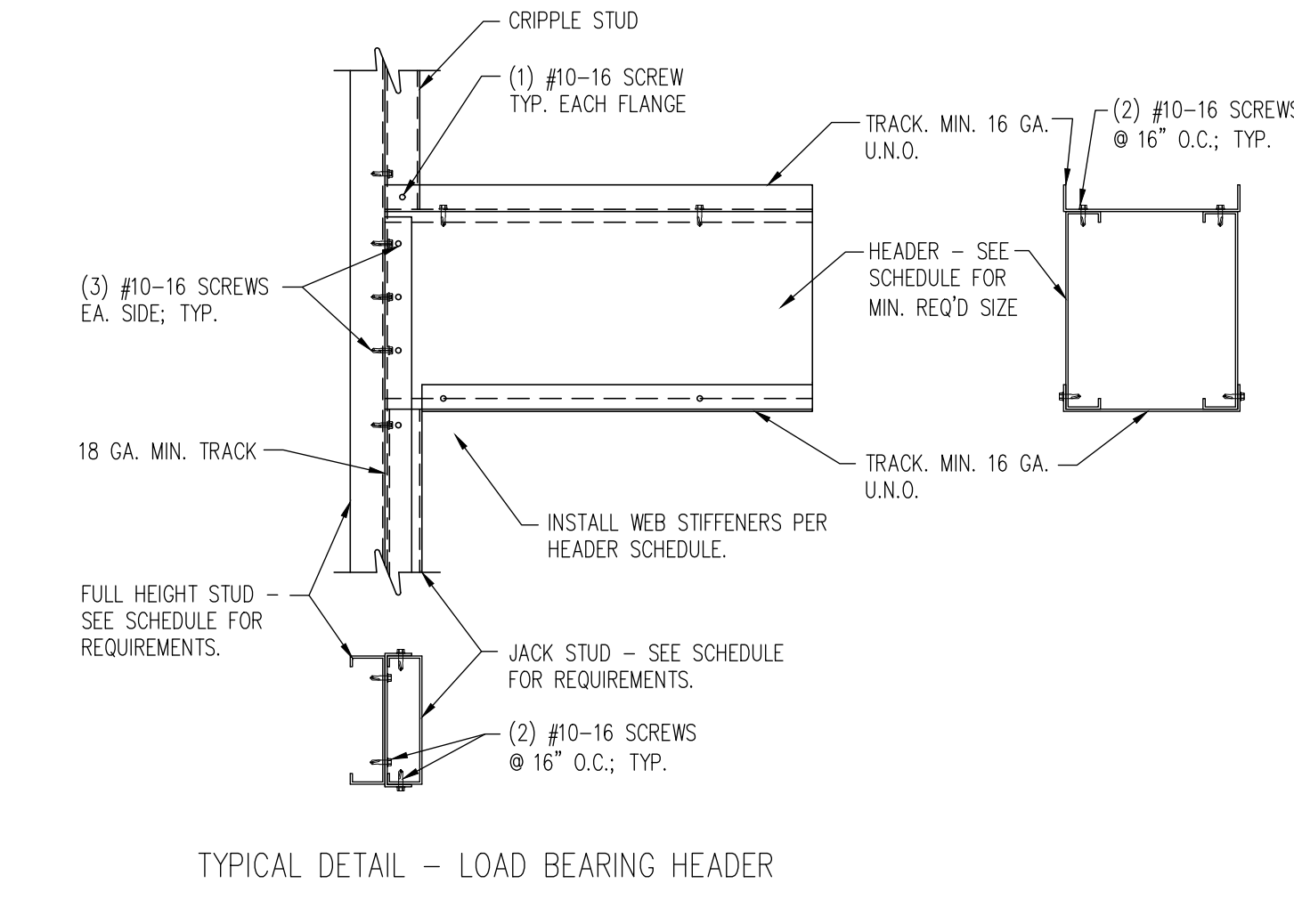
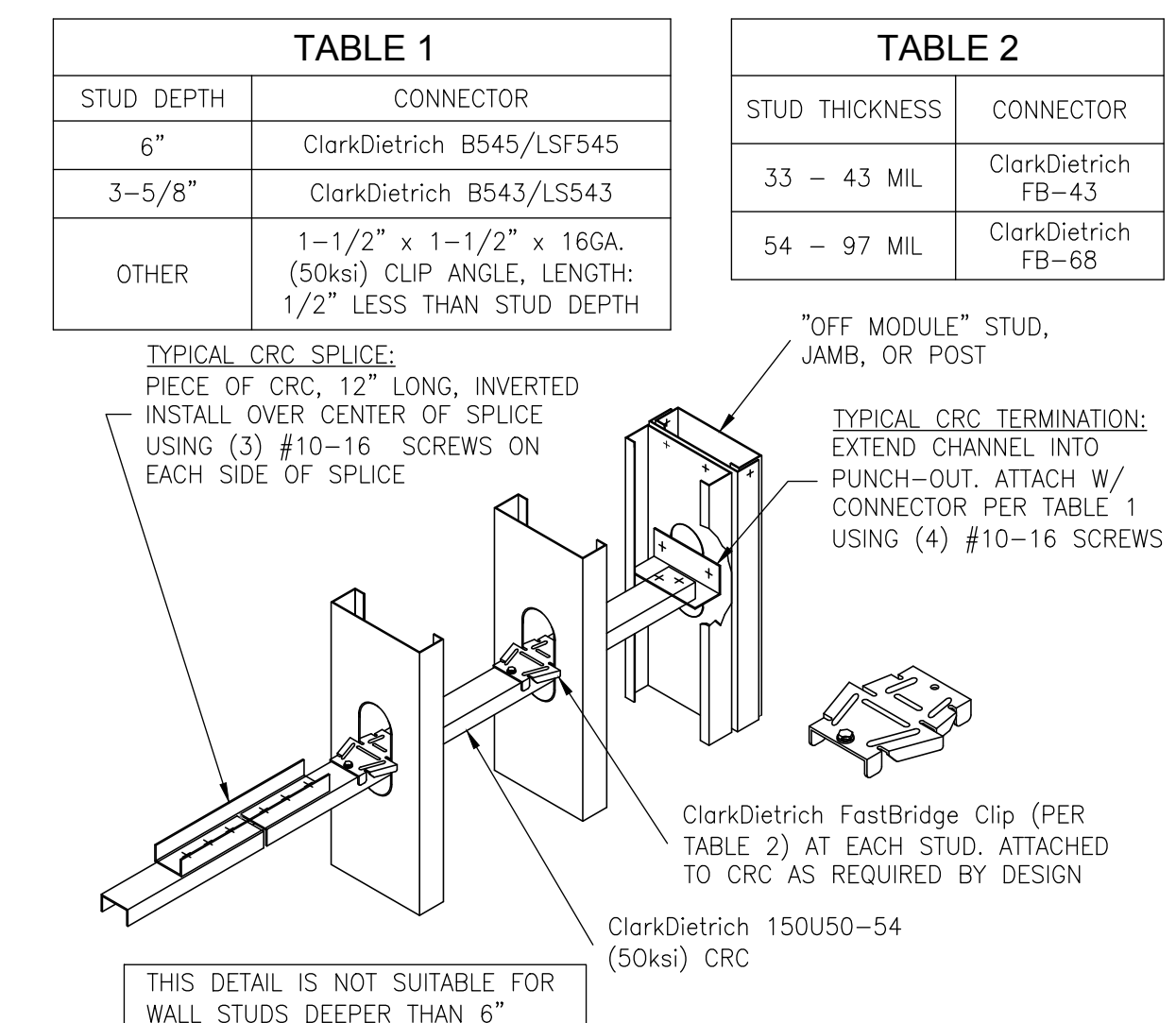
TYPICAL DETAIL - STUD BASE REINFORCEMENT. EQUIVALENT METHOD MAY BE SUBMITTED FOR REVIEW AND APPROVAL.
TYPICAL DETAIL 8
N.T.S.



TYPICAL DETAIL - STUD JAMB ANCHORAGE. EQUIVALENT METHOD MAY BE SUBMITTED FOR REVIEW AND APPROVAL.
TYPICAL DETAIL 9
N.T.S.



TYPICAL DETAIL - OPENING SILL. EQUIVALENT METHOD MAY BE SUBMITTED FOR REVIEW AND APPROVAL.
TYPICAL DETAIL 10
N.T.S.



TYPICAL DETAIL 12
N.T.S.

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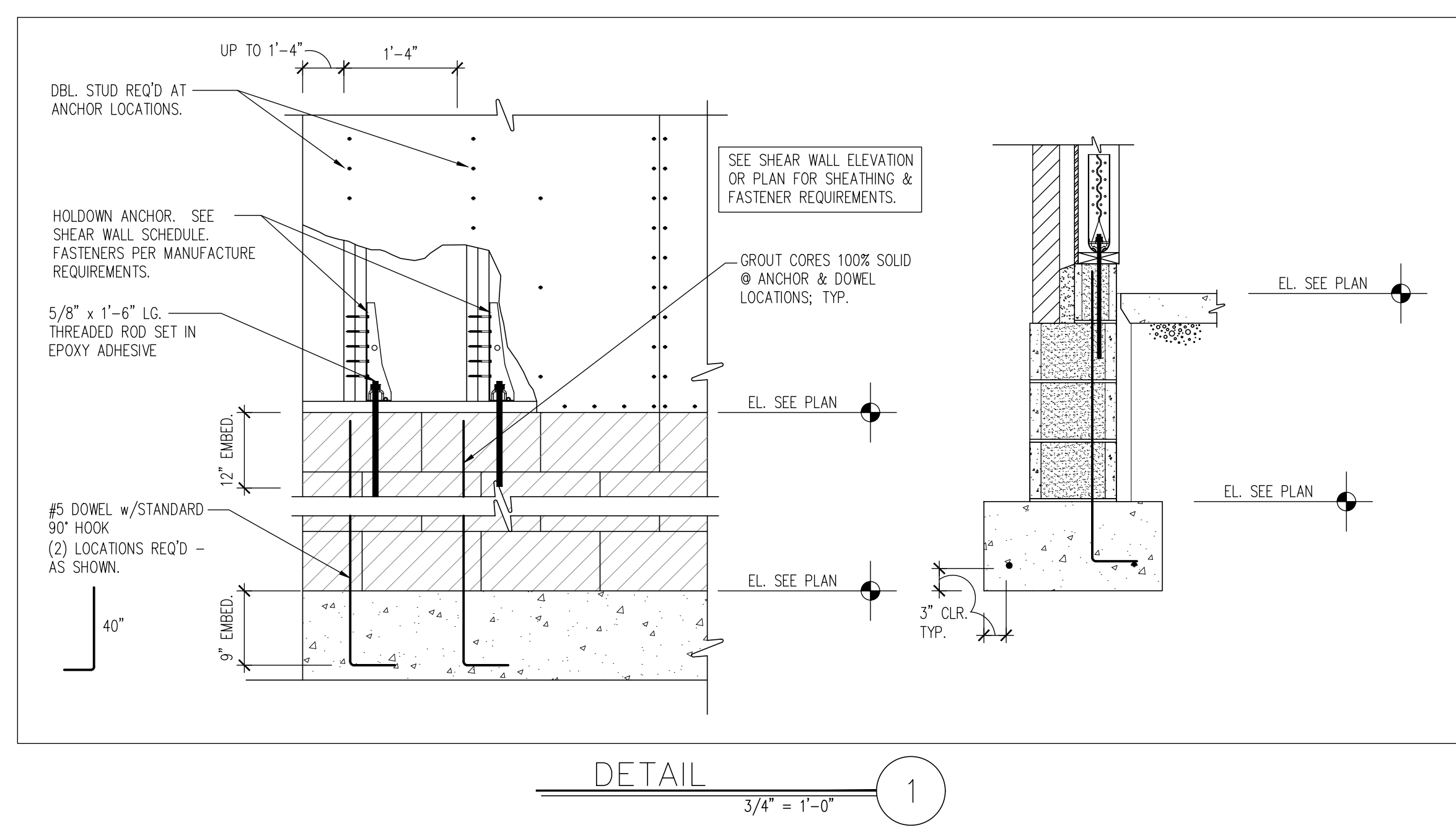
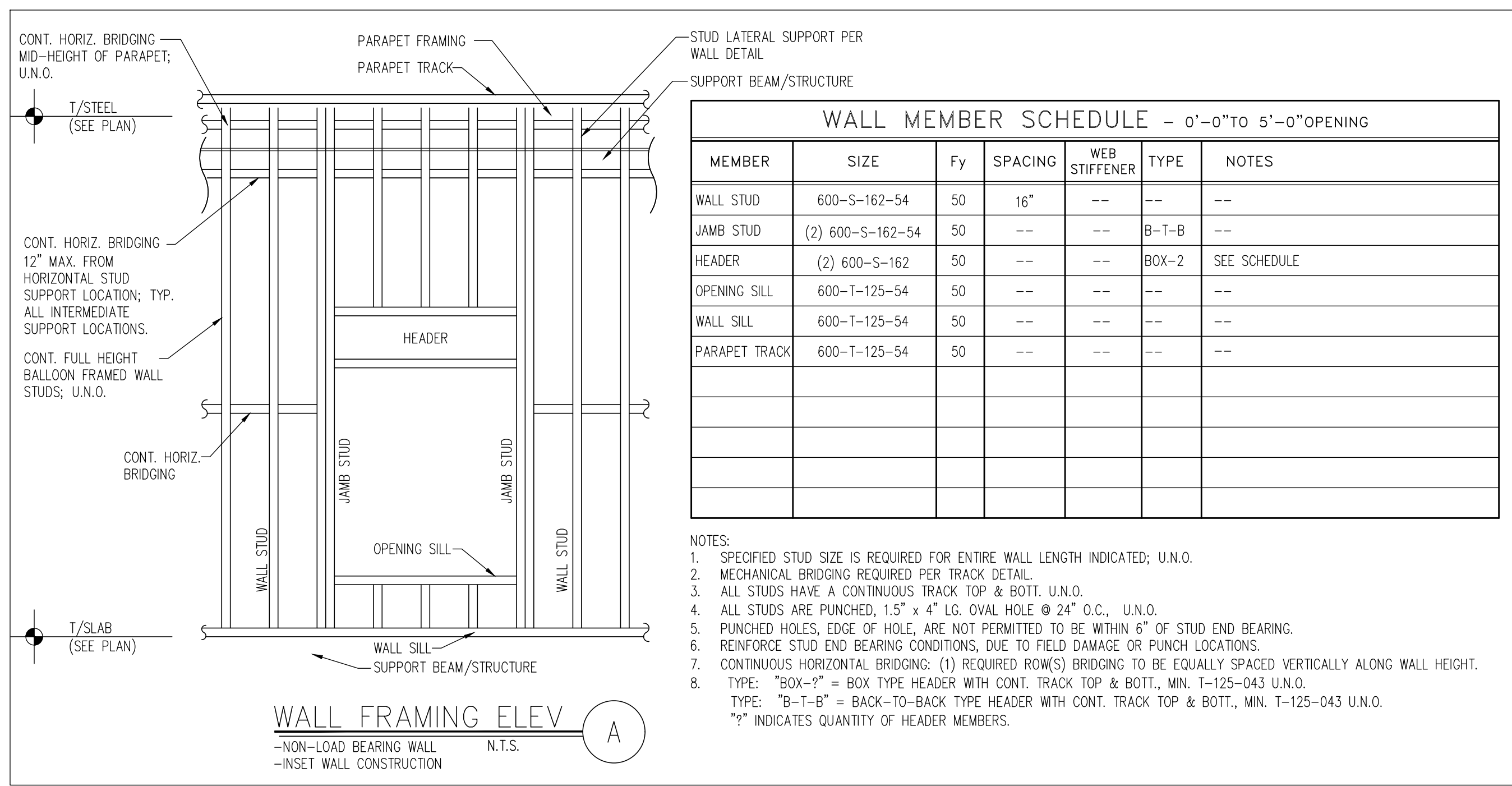
Project Reference: #19007
Consultants:
GENESIS PLANNING & DESIGN
INTERIOR PLANNING/DESIGN
BIRD & BULL, LTD
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Project Reference: #19007
COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION
810 JASONWAY AVE.
COLUMBUS, OH 43214

Date: 21 JAN 2020

Sheet Reference:
FRAMING DETAILS

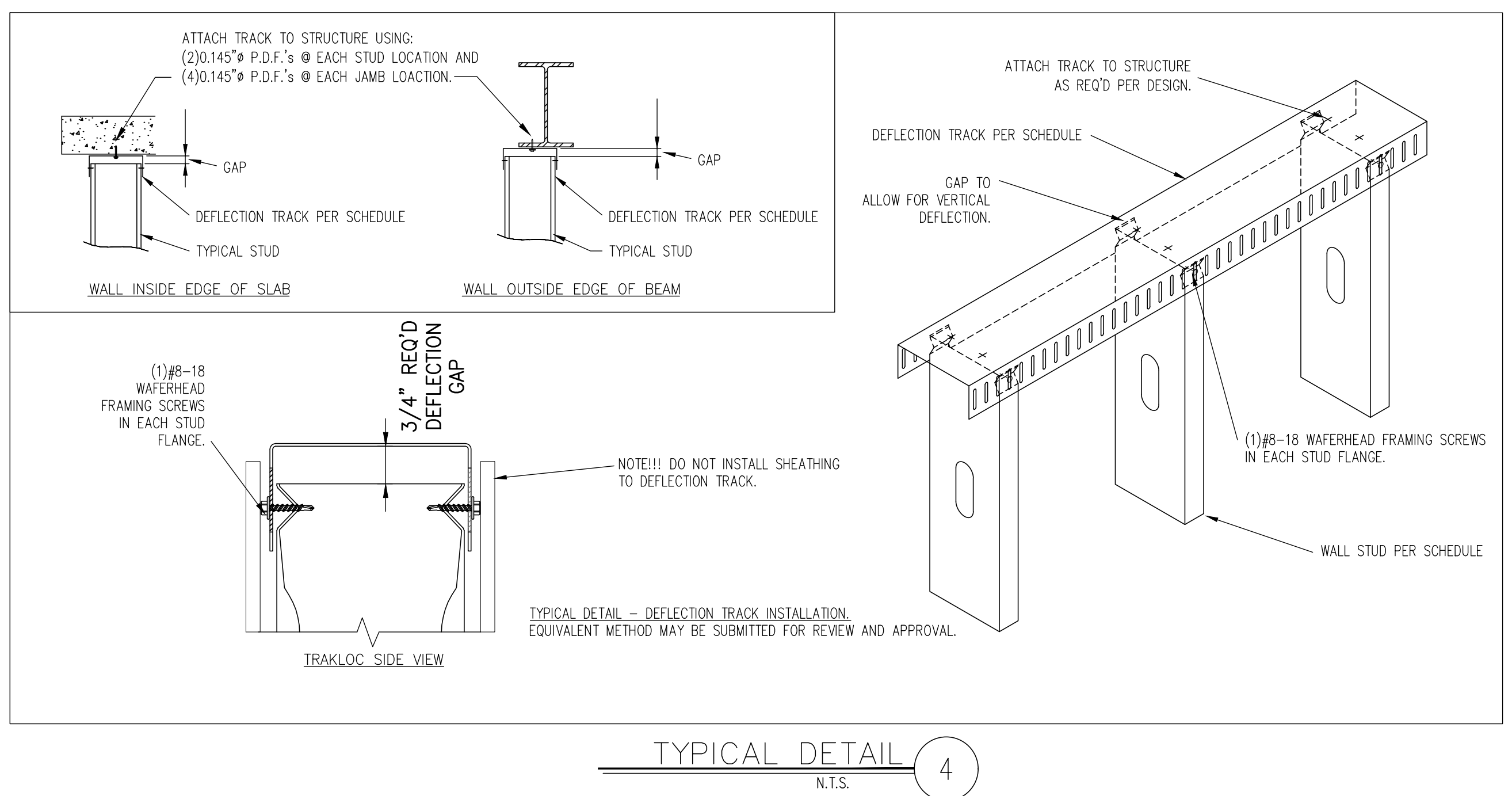
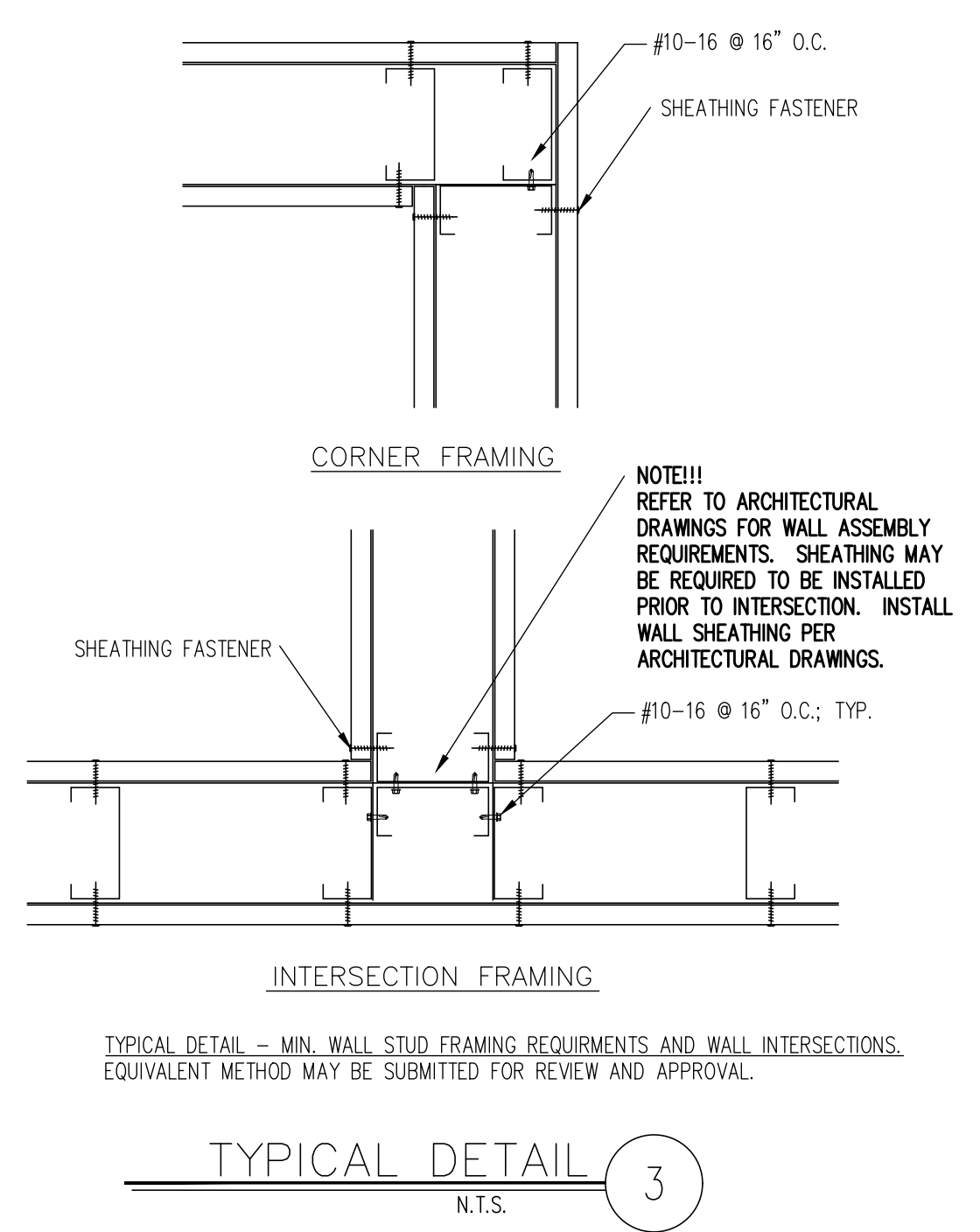
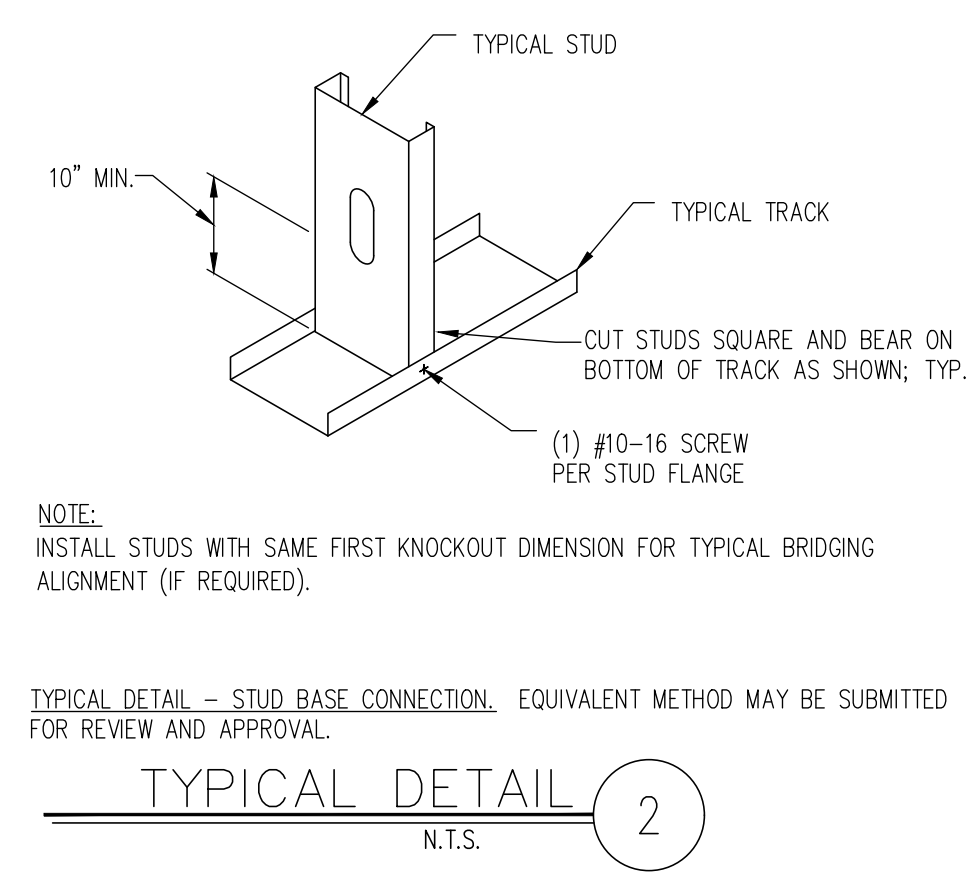
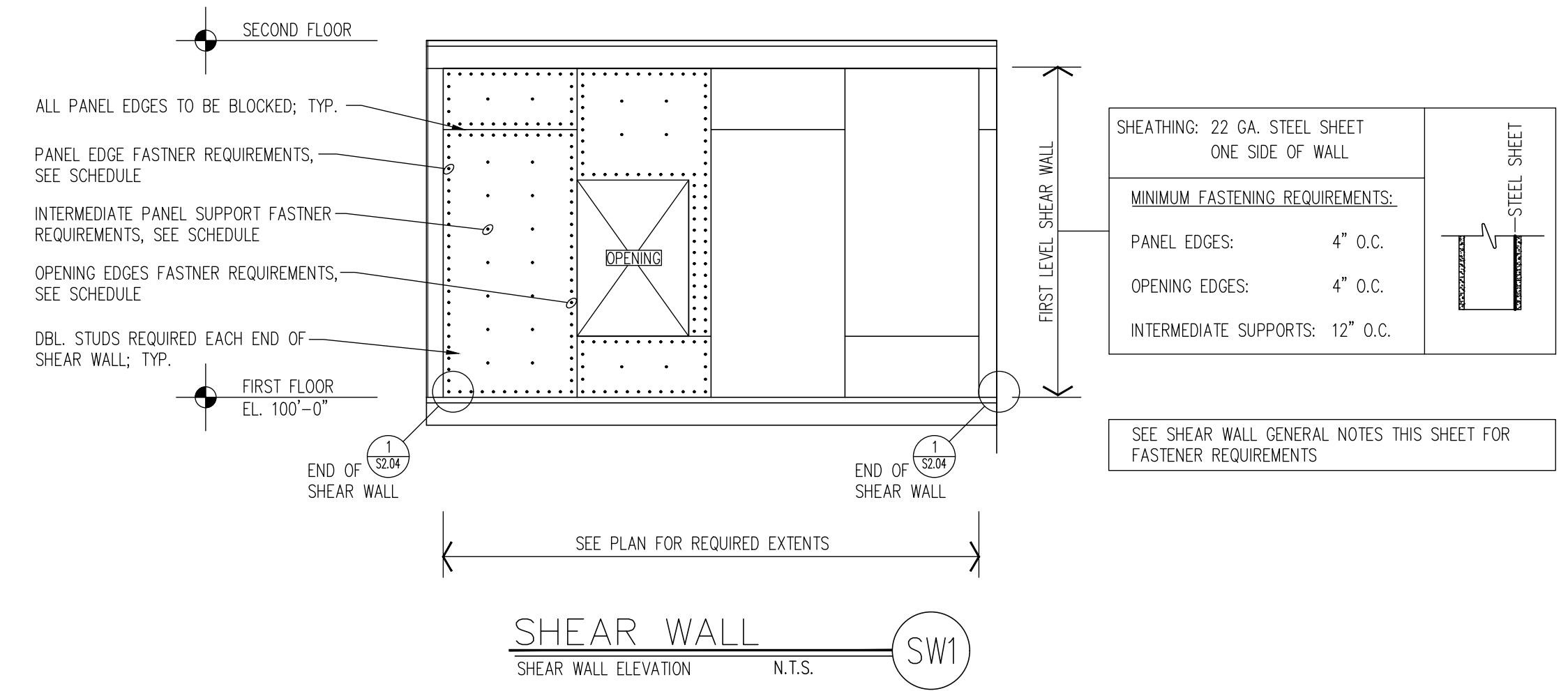


SHEAR WALL GENERAL NOTES

- SHEAR WALL ELEVATION INDICATES SHEATHING AND FASTENER REQUIREMENTS FOR STRUCTURAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR FINAL WALL CONSTRUCTION REQUIREMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE TO SCHEDULE AND COORDINATE ALL SHEATHING INSTALLATION ACCORDINGLY.
- THE CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE REQUIRED LOCATIONS OF EXTERIOR GRADE GYPSUM BOARD AND MOISTURE RESISTANT GYPSUM BOARD LOCATIONS. REFERENCE ARCHITECTURAL DRAWINGS.
- THE SPECIFIED STEEL SHEET SHEATHING IS REQUIRED TO BE INSTALLED DIRECTLY TO METAL STUDS. THE STEEL SHEET SHEATHING IS NOT PERMITTED TO BE INSTALLED OVER GYPSUM BOARD SHEATHING AND/OR FIRE RATED SHEATHING. AT THE CONTRACTORS OPTION, A COMPOSITE SHEATHING PRODUCT CONSISTING, IN PART OF STEEL SHEET, MAY BE SUBSTITUTED FOR THE SPECIFIED STEEL SHEET SHEATHING. THE STEEL SHEET GAUGE SHALL MEET OR EXCEED THE GAUGE SPECIFIED ON THE SHEAR WALL ELEVATIONS.
- EXAMPLE PRODUCT: SURE-BOARD AS MANUFACTURED BY THE CIMCO COMPANY (www.sureboard.com).

APPROVED FASTENERS:
 GYPSUM BOARD ONLY:
 a) STANDARD DRYWALL SCREWS
 b) 0.120" DIAMETER STANDARD DRYWALL NAILS

6. STEEL SHEET:
 a) SELF DRILLING/TAPPING PILOT POINT, TRUSS HEAD OR PAN HEAD SCREWS
 - MIN. NO. 6 SHANK DIAMETER (0.138")
 - MIN. 0.3145" HEAD DIAMETER
 - MIN. 1 1/4" LENGTH
 - SAE J78, ASTM C954 COMPLIANCE
 SCREWS FASTNER MUST BE FLUSH WITH PANEL SURFACE AND PENETRATE INTO THE COLD-FORMED STEEL FRAMING MEMBER A MINIMUM OF THREE EXPOSED THREADS. FASTENER MUST BE INSTALLED AT A MINIMUM 3/8" EDGE DISTANCE.
 b) INSTALL BUGLE HEAD SCREWS AT SURE-BOARD LOCATIONS (COMPOSITE SHEATHING).



Segna Associates
 1700 N. 10th St., Columbus, Ohio 43212
 Phone: 614.291.7910

Project Reference: #19007
 Project Status: Planning, Schematic Design, Design Development, Bids And Permits, CD Progress, Revisions

Sheet Reference: FRAMING DETAILS
S2.03

Date: 21 JAN 2020

Consultants:
GENESIS PLANNING & DESIGN
 INTERIOR PLANNING/DESIGN
BIRD & BULL, LTD
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WALTERS & ASSOCIATES
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