COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION

810 JASONWAY AVE., COLUMBUS, OHIO 43214

Design/Construction by:

ARCHITECT

CIVIL/SITE COMPLIANCE

PLUMBING, HVAC, ELECTRICAL

SEGNA ASSOCIATES, INC. GENESIS PLANNING & DESIGN

INTERIOR PLANNING/DESIGN

BIRD & BULL, LTD WALTERS & ASSOCIATES STRUCTURAL

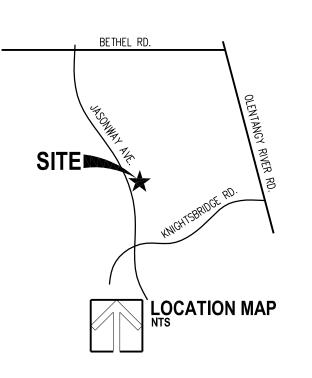
PRATER ENGINEERING ASSOC., INC. LEHMAN DAMAN CONSTRUCTION SERVICES GENERAL CONTRACTOR



ISSUE: CD Progress

DATE:

21 JAN 2020



SCHEDULE OF DRAWINGS

CS1 COVER SHEET-ZONING AND BLDG CODE INFO

LOCATION MAP

FINAL SITE COMPLIANCE PLAN SITE CPD TEXT

SITE DEMO PLAN

SITE GRADING PLAN SITE DIMENSION PLAN

A1.2 CONSTRUCTION SPECIFICATIONS

A2.0 AREA OF WORK DEMO FLOOR PLAN **A2.1** AREA OF WORK FLOOR PLAN

A2.2 AREA OF WORK ROOF PLAN

A2.3 EXISTING & DEMO CLG PLAN

A2.4 NEW CLG PLAN

A3.0 EXTERIOR ELEVATIONS OF ADDITION

A5.1 DOOR SCHEDULE/ACCESSIBILITY INFO

A5.2 FINISH SCHEDULE

S0.01 STRUCTURAL GEN NOTES

S0.02 STRUCTURAL GEN NOTES **\$0.03** STRUCTURAL DETAILS

\$1.11 FOUNDATION PLAN/NOTES

\$1.21 ROOF FRAMING PLAN/NOTES **\$2.01** STRUCTURAL DETAILS

\$2.02 STRUCTURAL DETAILS **\$2.03** STRUCTURAL DETAILS

P100 PLBG DEMO PLAN

P200 FIRST FLR PLBG PLAN P300 FIXTURE SCHEDULE/GENERAL NOTES

H200 FIRST FLR ADDITION HVAC FLR & ROOF PLAN

E250 FIRST FLR LIGHTING PLAN

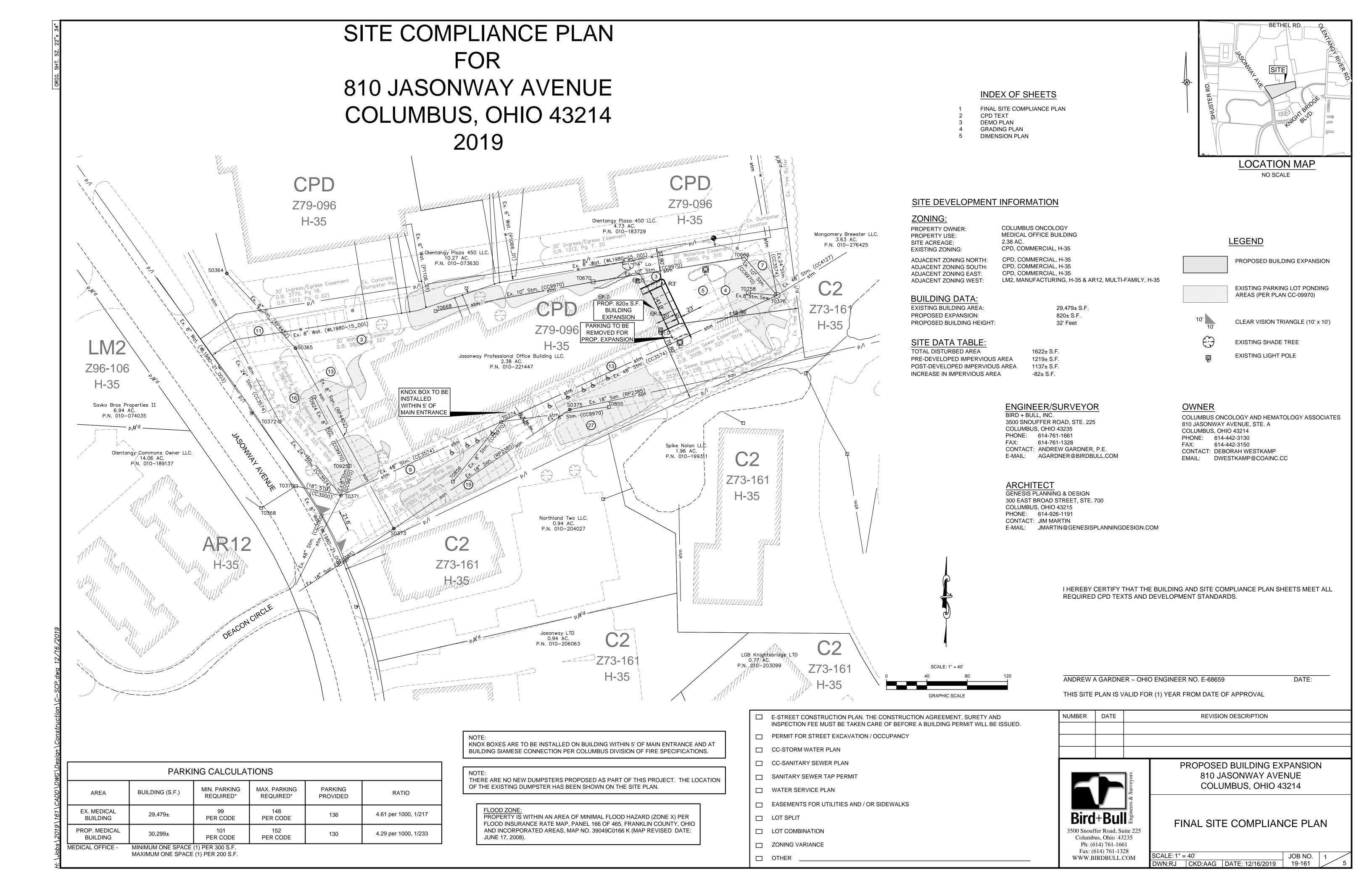
E300 LIGHTING FIXTURE SCHEDULE/DETAILS/NOTES

E301 ONE LINE DIAGRAM/PANEL SCHEDULES

COLUMBUS ZONING CODE

REFERENCE	TITLE	STATUS	REMARKS
SECTION: 304	304.1 BUSINESS GROUP B	В	USE IS PRIMARILY MEDICAL OFFICE/OUTPATIENCE CLINIC
SECTION: 504	504.3 HEIGHT	PERMITTED B (S) (VB)- 60 FT	ADDITION HGT 17.33 FT & EXISTING LESS THA 60 FT-COMPLIANT
	504.4 NUMBER STORIES	PERMITTED B (S) (VB)- 3 STORIES	ADDITION 1 STORY & EXISTING BLDG 2 STORIES-COMPLIANT
SECTION: 506	TABLE 506.2 ALLOWABLE AREA	B (SM) (VB) ALLOWABLE 27,000SF	ADDITION AREA 821SF & EXISTING BLDG AREA 31,267 SF-TOTAL 32,079 SF
	TABLE 506.3 FRONTAGE INCREASE	CALCULATED PER EQUATION ALLOWABLE BLDG AREA	FRONTAGE INCREASE PERMITTED 73.67% OR 19,891SF ALLOWABLE 27,000SF + FRONTAGE INCREASE 19,891 SF=TOTAL 46,891 SF EXISTING AREA 31,267 + ADDITION 812=TOTAL 32,079 SF-COMPLIANT
SECTION: 602	606.5 TYPE V	V-B (COMBUSTIBLE)	EXISTING & NEW METAL WALL FRAME SYSTEM WITH WOOD ROOFING-COMPLIANT
	TABLE 601 BLDG ELEMENT FIRE RATING	ALL ELEMENTS 0 RATING	EXISTING & NEW-NO ELEMENTS FIRE RATED OR PROTECTED-COMPLIANT
	TABLE 602 FIRE SEPARATION DIST	>30' B USE/ VB =0 HR RATING	0 RATING FOR EXT WALLS FIRE SEPARATION GREATER THAN 30 FT-COMPLIANT
SECTION: 705	TABLE 705.8 EXT OPNG/FIRE DIST	>30' (UP/S) NO LIMIT	0 RATING FOR EXT WALL OPENINGS
SECTION: 803	TABLE 803.11 INT WALL CLG FINISH	STAIRWAY-CLASS B COORIDORS-CLASS C ROOMS-CLASS C	WALL AND CEILING -COMPLIANT
SECTION: 804	TABLE 804.4.2 EXCEPTION	S-COMPLY WITH ASTM D 2859	FLOOR FINISH TO MEET ASTM D2859-COMPLIANT
SECTION: 903	903,2.9 GROUP B	USE B SPRINKLER NOT REQUIRED	NFPA 13 PER 903.3.1.1 SYSTEM EXIST & NEW TO BE SPRINKLERED -COMPLIANT
SECTION: 906	TABLES 906.3(1) &906.3(2)	LIGHT(LOW) HAZARD	2A/10BC UNITS PROVIDED-COMPLIANT
SECTION: 907	907.2.2 FIRE ALARM/DETECTION GROUP B	NO SYSTEM REQUIRED	SYSTEM EXIST AND PROVIDED
SECTION: 1004	1004.1.2 OCCPNT LOAD	OCCUPANTS B 1/100 SF GROSS	EXISTING OCCUPANCY 28,690 SF/ 100 SF=287 PERSONS ADDITION OCCUPANCY 812 SF/ 100 SF= 9 PERSONS TOTAL OCCUPANCY=296 PERSONS
SECTION: 1005	1005.3.1 STAIRWAY EGRESS	REQUIRED 0.2"/PERSON	EXISTING 2ND LEVEL OCCUPANCY 7,914SF/100SF=80 PERSONS EXISTING REQUIRED 80 X,2=16" EXISTING PROVIDED 72"-COMPLIANT
	1005.3.2 OTHER EGRESS	REQUIRED 0.15"/PERSON	EXISTING OCCUPANCY & NEW 29,502SF/100SF=296-COMPLIANT EXISTING REQUIRED 295 X.15=45" EXISTING PROVIDED 252"-COMPLIANT
SECTION: 1007	1007.1.1 TWO EXIT OR EXIT ACCESS DOORWAYS	TWO EXITS REQUIRED REMOTENESS GREATER THAN HALF DIAGONAL	2ND LEVEL THERE ARE 3 EXITS WITH REMOTENESS-COMPLIANT 1ST LEVEL THARE ARE 7 EXITS WITH REMOTENESS-COMPLIANT
SECTION:1009	1009.1 ACCESSIBLE EGRESS	REQUIRED	BLDG ACCESSIBLE EGRESS EXIST AND PROVIDED-COMPLIANT
SECTION:1010	1010.1.10 PANIC & FIRE EXIT HARDWARE	REQUIRED	ALL EXISTING EXIT DOORS HAVE PANIC TYPE HARDWARE-COMPLIANT
SECTION:1017	TABLE:1017.2 EXIT TRAVEL DISTANCE	B (S)-250 FT PERMITTED	EXIT TRAVEL DISTANCE IN EXISTING AND NEW AREAS LESS THAN 250 FT-COMPLIAN
SECTION:1024	TABLE:1024 WIDTH	MIN WIDTH REQUIRED 44"	EXIT PASSAGEWAY(S) EXISTING & NEW ARE 44"-COMPLIANT
SECTION:1003	1103.1 WHERE REQUIRED	ACCESSIBILITY REQUIRED	ACCESIBILITY PROVIDED IN EXISTING AND NEW-COMPLIANT
SECTION: 2902	TABLE 2902.1 NUMBER OF FIXTURES	WC-1/50 OCCUPANTS LAV-1/50 OCCUPANTS DF-1/100 OCCUPANTS SERV SINK-1 PER FACILITY	OCCUPANCY 296 WC 296/50=6 UNITS-PROVIDED 11-COMPLIANT LAV296/50=6 UNITS-PROVIDED 11-COMPLIANT DF296/1000=3 UNITS-PROVIDED 3-COMPLIANT SERV SINK UNIT REQUIRED-PROVIDED 1-COMPLIANT
	TABLE 2902.3 EMPLOYEE & PUBLIC TOILETS	REQUIRED	INCLUDED IN FIXTURE COUNT-COMPLIANT
SECTION: 3403	3403.1 GENERAL-ADDITIONS	COMPLY TO CODE	ADDITION COMPLIANT TO NEW PER CODE: EXISTING & NEW TOGETHER COMPLIANT
OPC: CHPTR 4	410.4 DRINKING FOUNTAIN SUSTITUTION	POTABLE WATER DISPENSER REQUIRED	DRINKING FOUNTAIN SUBSTITIUTION IS A WATER DISPENSER WHICH IS PROVIDED I THE FACILITY AT VARIOUS LOCATIONS

SCOPE OF WORK PROGRAM: A SPRINKLER AND FIRE ALARM SYSTEM EXIST AND NEW ADDITIN TO BE ADDED TO THE BUILDING SYSTEM



PROPOSED DEVELOPMENT STANDARDS CPD REZONING OLENTANGY PLAZA SHOPPING CENTER 4/5-050

Olentangy Development Corporation

Bethel Road west of Olentangy River Road, adjacent

Proposed Rezoning:

The proposed development, Olentangy Plaza Shopping Center, has been designed to combine the desired commercial use of the land and yet provide those aesthetically pleasing features which will enhance the center and the area.

The project will be planned in an "L" shape to physically contain the commercial land use to the area east of the proposed Jasonway Ave. extension to Bethel Road

ALLOWABLE USES

All commercial uses presently defined in the existing C-4 and C-2 zoning districts shall be allowed. Lot coverage for this project shall not be restricted except as provided in the existing C-4 zoning district, subject to the general site configuration shown on the CPD map.

TRAFFIC

Curb cuts to the center shall be restricted to three cuts along Bethel

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£1\2:4			EBOM:	T+:60	100 5 -52-435

Road and four along Jasonway. The major entry will combine access to the site with the westerly entrance of the K-Mart property. This entrance will be controlled with an approved traffic signal allowing left turn into and from the tract (s). A left turn lane will be provided on Bethel Road. An additional entrance allowing left turns in and out will also be made approximately 350 feet west of the signalized intersection. This cut and the signalized entrance will also provide the access to the proposed out-parcels along Bethel Road.

The third entrance along Bethel Road shall be approximately 250 feet east of the Jasonway Avenue intersection. This cut will be restricted to right turns in and right turns out only.

Four cuts will be made along Jasonway to allow free customer traffic flow into the center and to provide the required access to the service and delivery areas. Jasonway Avenue shall be designed to provide four lanes within 250' of the intersection of Bethel Road and shall be divided by a four foot median strip,

ENVIRONMENTAL TREATMENT

Environmental features have been planned along Jasonway Avenue to effectively screen the center from the roadway. More specifically, the developer will provide moundings where topography allows and a line of 5' evergreen trees spaced at 5'-8' intervals within the approved set backs.

Along the Bethel Road frontage a 40 foot green strip will be provided utilizing low mounding and landscaping clusters designed to provide the desired landscaped treatment but not to restrict the center's visibility, 279-096(6)

		 <u></u>		
P:6/13	518899902516:01		FRQM:	16:60 700S-25-93

Mr. Lloyd Horrocks, President of the Northwest Civic Association, told the Commission that, although the subject tract was not located within the Association's boundaries, the group wished to review the plan and text. He said that the developer had made a presentation

on Tuesday night and those present made the following suggestions: 1) that the number of

curb cuts on Bethel Road be reduced to 1 and,2) that the CPD text include references to the Bethel Road development standards. Another meeting, he said, had been scheduled for

Ms. Young expressed concern over the language in the last paragraph on page B, saying that if this remained in the text, the applicant would have a straight C-4 zoning. Mr. Kipp

Mr. Cochran stated he felt the reference to development standards would be a good guideline. Mr. Berry noted that the Commission would rely on the integrity of the developer. Mr.

Cochran agreed, saying that staff would have to approve the final plan and text before the

The application was placed on its passage and all members voted for approval (7-0).

said that, if this were the case, staff would have to state its opposition. Mr. Feibel recommended that this paragraph be deleted. Ms. Young so moved, Mr. Berry seconded, and

(2)

A landscaping and screening plan will be developed in conjunction with the planning Division of the Department of Development.

1000

P:7/13

All signage will conform to the City of Columbus Graphics Code for C-4 zoning districts, but project identification signs shall be limited to two ground signs; one each at the main entrances to the center on Bethel Road.

BUILDINGS

As presently designed the proposed center will contain a maximum of 235,000 square feet of gross building area. In addition, two outparcels presently planned will contain individual commercial buildings with uses conforming to those specified in the Columbus C-4 zoning district subject to the general site configuration shown on the CPD map. These buildings may be designed to accomodate one or more commercial users. Final building sizes and configurations to be determined.

Based upon the preliminary plan, the site will provide parking ratio's which exceed those standards required (1 per 400 s.f.) under the commercial zoning district code for the City of Columbus. Space will be provided for more than 850 cars.

While the applicant for this rezoning agrees to the planned development concept and environmental treatments, the applicant reserves the right under the Columbus Commercial Planned Development district code to revise, realign, and otherwise modify the plan, so long as the general concept does not materially vary.

279-096(8)

S18833365519:0T SEP-25-2007 09:41 FROM:

The City of Columbus Mayor Tom Moody

Department of Development 140 Marconi Boulevaro Columbus, Chio 43215

Director N. Jack Huddle 614-222-7763

SUMMARY OF PUBLIC HEARING CITY OF COLUMBUS DEVELOPMENT COMMISSION DATE: NOVEMBER 8, 1979 TIME: 6:00PM PLACE: CITY COUNCIL CHAMBERS, 90 WEST BROAD STREET

Development Commission Members present: Chairman Paul Young, Mr. Tom Anders, Mr. Tom Berry, Mr. Tom DeVoe, Mr. James Feibel, Mr. William Saxton and Ms. Jane Young. Department of Development, Division of Planning Staff present: Messrs. Tom Kipp and Roy Briegel.

Division of Traffic Engineering & Parking Staff present: Mr. Gary Palatas.

Secretary to the Commission: Ms. Lin Newburgh.

Rezoning Application: Z79-096 Location: A 21+ acre tract located on the southeast corner of Bethel Road and relocated Jasonway Avenue Existing Zoning: C-2 & C-4, Commercial Districts Request: CPD, Commercial Planned Development District Proposed Use: Commercial Development Applicant: Olentangy Development Co., by Alan S. Wernick, 6079 Northgate Road Property Owner: The Applicant

Mr. Tom Kipp gave this presentation locating the subject tract on aerial slides. He stated that the revised plan seems to satisfy staff's initial concerns. If a closer review showed conditions had been met, staff's would recommend for approval.

Mr. Robert Cochran, representing the Linclay Corp., showed boards and explained the proposed development. He pointed out the two planned curb cuts on Bethel Road and noted that they would be right turn in and out. He said that the main entry would be at a signalized intersection, that parking for 945 cars would be provided (550+ are required by Code), and showed traffic circulation patterns.

Mr. Palatas said that he had not reviewed the revised text and would have to reserve comment. He did, however, note that any signal would be an addition, not a replacement of an existing.

Mr. Young asked why the revised text had not been submitted in time for staff review. Mr. Kipp indicated that he felt staff and the applicant were close enough to agreement to consider the application at this time.

Mr. Bob Yarrington, a Bethel Road property owner, asked what uses would be permitted in the CPD development. Mr. Cochran replied that the uses would be those permitted in C-4.

P:10<13 10:012206668812 2EP-25-2007 09:43 FROM:

and the second second Z79-096

- 1.) The signage section in the text should be amended to indicate that a maximum of 2 ground signs would be located on the subject site to identify the shopping center,
- 2). Landscaping along Jasonway Avenue shall consist of heavy evergreen planting an an earth berm (minimum height of the berm to be 2') with a minimum tree height of 5' at installation and a maximum distance between trees of 6 to 7' on center.
- 3) Landscaping along Bethel Road shall consist of treatment of at least 50% of the frontage and consist of a 40' setback which includes an earth berm a minimum of 3' in height landscaped and planted with trees.
- 4) The distance between the landscaped berm along Jasonway Avenue and the major commercial buildings proposed should be increased to permit minimum acceptable loading spaces for delivery trucks (normally 50°).
- 5). The layout of the southeastern-most partion of the parking lot should be altered to close the north-south aisle at its southern end, thereby minimizing traffic conflicts and potential hazards.
- 6.) The sections on "Allowable Uses" and "Buildings" in the CPD Text should be amended to read as stated plus "subject to the general site configuration shown on the CPD Map."
- 5. In addition, staff would suggest that the applicant consider the following changes or
 - 1). Realign the main east-west driveway in front of the southern tier of stores to line up with the driveway in front of the existing discount department store to the east.
 - 2). Move the southern row of stores northward to align with the building setback line of the existing store to the east. 3). Landscape parking islands, dividers, and end caps with raised curbs and
- low evergreen plantings, with small trees to be planted in the major 6. The Division of Traffic Engineering was in the process of reviewing applicant's CPD plan
- 7. The Division of Planning recommends disapproval of the existing application, but would support the proposed CPD zoning subject to receipt of an amended CPD map and text showing the six requirements listed in Comment #4 above.

at the time this report was being prepared, but will make comments at the Development

P:11/13

Enclosures:

RR/hle 10/\$1/79

Zoning Map

2. Applicant's CPD Map and Text

Commission hearing.

279-096 (2) T0:913306668812

SEP-25-2007 09:43 FROM:

P:12<13 10:913306668812

SUMMARY OF PUBLIC HEARING

NOVEMBER 8, 1979 PAGE 2 of 2

CITY OF COLUMBUS DEVELOPMENT COMMISSION

Rezoning Application: 279-096 (continued)

November 27th at 7:00PM, in the Winterset School.

the motion to delete the paragraph passed unanimously.

rezoning application would be forwarded to City Council.

SEP-25-2007 09:43 FRUM:



Fax: (614) 761-1328

WWW.BIRDBULL.COM

PROPOSED BUILDING EXPANSION 810 JASONWAY AVENUE COLUMBUS, OHIO 43214

CPD TEXT

SCALE: N/A DWN:RJ | CKD:AAG | DATE: 12/16/2019

JOB NO. 2

<u>LEGEND</u>

EXISTING HEDGE TO BE REMOVED AND DISPOSED OF.



PROPOSED SAWCUT

EXISTING ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF.

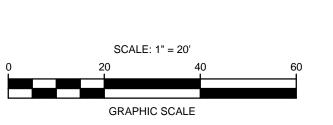
CODED NOTES

(A) EXISTING CURB TO BE REMOVED AND DISPOSED OF.

	ESTIMATE OF QUANTITIES							
ITEM	QUANTITY	UNIT	DESCRIPTION					
202	132	S.Y.	ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF					
202	74	L.F.	CONCRETE CURB TO BE REMOVED AND DISPOSED OF					
255	112	L.F.	SAW CUT EXISTING PAVEMENT					
609	89	L.F.	EXTRUDED CONCRETE CURB					
304	4	C.Y.	AGGREGATE BASE					
441	1	C.Y.	ASPHALT CONCRETE SURFACE COURSE, TYPE 1					
441	1	C.Y.	ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 1					
608	141	S.F.	CONCRETE WALK					
901	48	L.F.	6" STORM SEWER PIPE FOR ROOF DRAINS, (HDPE)					

NOTE RE: ESTIMATE OF QUANTITIES THESE QUANTITIES ARE APPROXIMATE ONLY AND ARE NOT TO BE USED FOR PREPARATION OF COST ESTIMATES, BIDS, OR ANY OTHER ESTIMATING PURPOSE WITHOUT VERIFICATION BY THE USER. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER FOR EVALUATION.





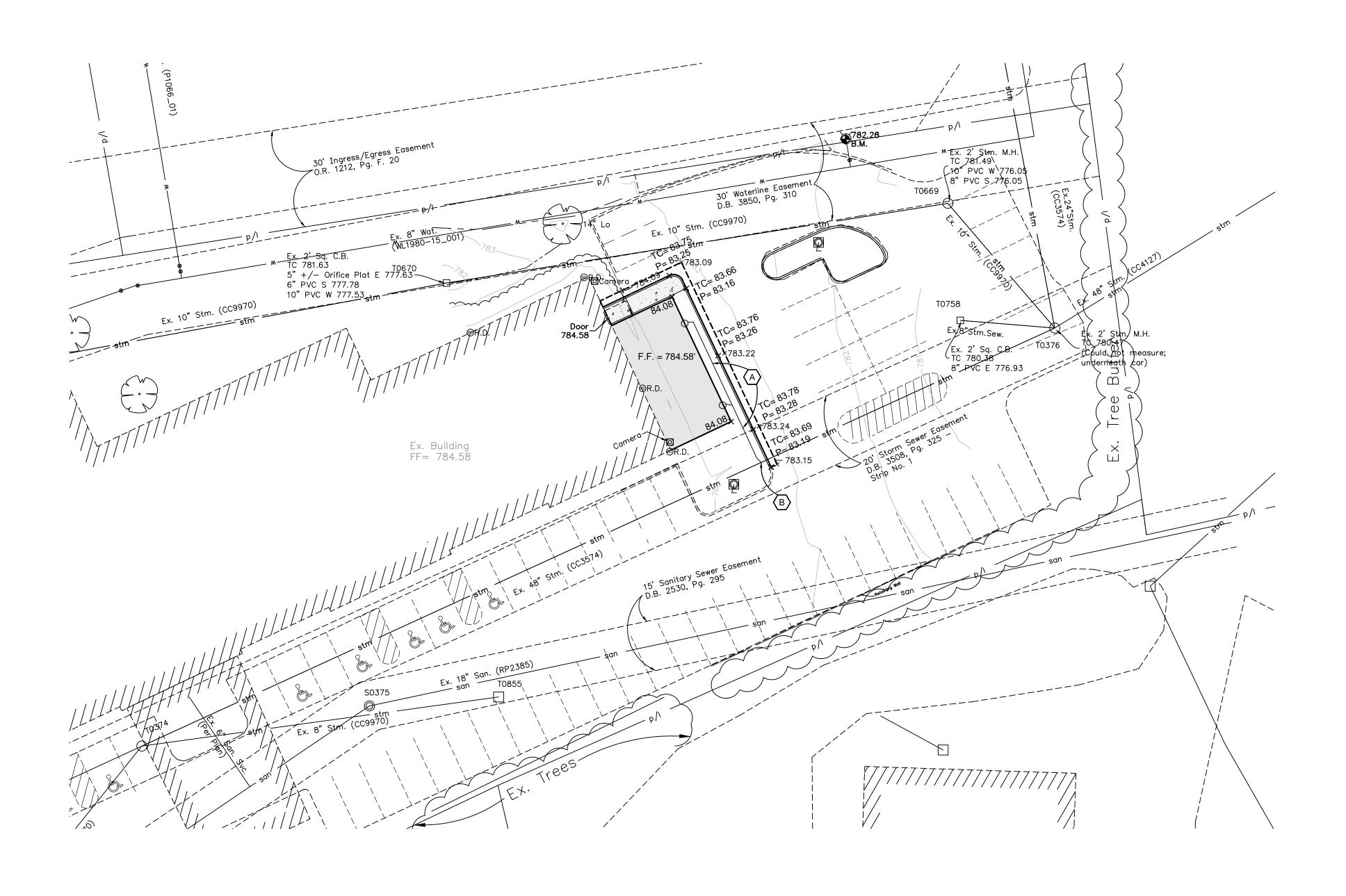


PROPOSED BUILDING EXPANSION 810 JASONWAY AVENUE COLUMBUS, OHIO 43214

SITE DEMOLITION PLAN

 SCALE: 1" = 20'
 JOB NO.

 DWN:RJ
 CKD:AAG
 DATE: 12/16/2019
 19-161



NOTE: THE CITY OF COLUMBUS CONSTRUCTION AND MATERIALS SPECIFICATIONS, CURRENT EDITION SHALL GOVERN THESE PLANS.

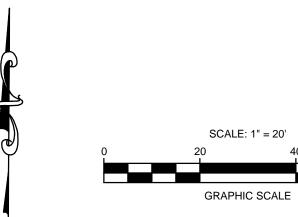
<u>LEGEND</u>

EXISTING CONTOUR EXISTING SANITARY MANHOLE EXISTING SPOT ELEVATION EXISTING FIRE HYDRANT PROPOSED SPOT ELEVATION ⊗ EXISTING VALVE **EXISTING STORM MANHOLE**

EXISTING CATCH BASIN

CODED NOTES

- PROPOSED 6" PVC STORM PIPE FOR ROOF DRAINS. COORDINATE WITH ARCHITECTURAL PLANS.
- BLIND TAP PROPOSED 6" STORM PIPE INTO THE EXISTING 48" STORM SEWER, USING A 6" KOR-N-TEE.





PROPOSED BUILDING EXPANSION 810 JASONWAY AVENUE COLUMBUS, OHIO 43214

STORM SEWER AND GRADING PLAN

SCALE: 1" = 20'

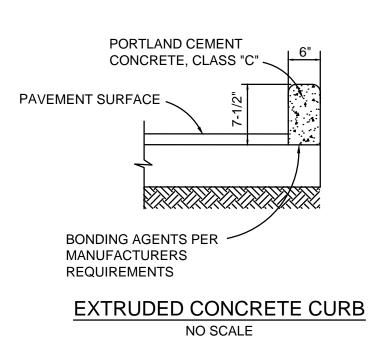
DWN:RJ CKD:AAG DATE: 12/16/2019

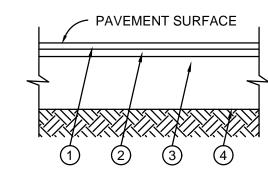
SEE PLAN FOR WALK OR PAD WIDTH ITEM 452, PLAIN PORTLAND CEMENT CONCRETE, CLASS "C" ITEM 304 GRAVEL T = 4" FOR WALKS T = 7" FOR PAVEMENT AND SLABS

T = 4" FOR WALKS
T = 7" FOR PAVEMENT AND SLABS

CONCRETE WALK AND PAVEMENT

NO SCALE





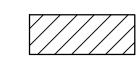
LIGHT DUTY
PAVEMENT SECTION
NO SCALE

- 1) ITEM 448 1-1/2" ASPHALT CONCRETE SURFACE COURSE
- ② ITEM 448 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE
- ③ ITEM 304 8" AGGREGATE BASE (COMPACTED IN TWO EQUAL LAYERS)
- 4 COMPACTED SUBGRADE

<u>LEGEND</u>



PROPOSED CONCRETE WALK PER DETAIL ON THIS SHEET.

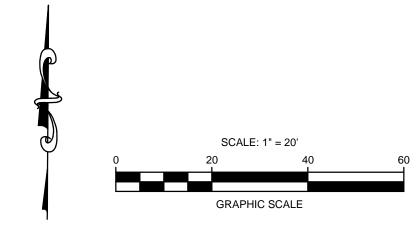


PROPOSED LIGHT-DUTY ASPHALT PAVEMENT PER DETAIL ON THIS SHEET.

---- PROPOSED SAWCUT LINE

CODED NOTES

PROPOSED BUILDING EXPANSION PER ARCHITECTURAL DRAWINGS.





PROPOSED BUILDING EXPANSION 810 JASONWAY AVENUE COLUMBUS, OHIO 43214

SITE DIMENSION AND PAVING PLAN

28 COM SCALE: 1" = 20'

 SCALE: 1" = 20'
 JOB NO.

 DWN:RJ
 CKD:AAG
 DATE: 12/16/2019
 19-161



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Sheet Reference:

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Sheet Reference:

A 1 . 1

CONSTRUCTION & CONTRACT GENERAL NOTES: CONTRACTING PROCUREMENT CONDITIONS

- 1. PROJECT CONSTRUCTION CONTRACT IS BASED ON THE AGREEMENT BETWEEN THE "CONTRACTOR/ CONSTRUCTION MANAGER" LEHMAN DAMAIN AND THE OWNER FOR THE WORK
- "CONTRACTOR/CONSTRUCTION MANAGER" WILL MANAGE ALL BIDDING AND SECUREMENT OF CONTRACTS FOR ALL WORK AND WILL SELF-PERFORM SELECTED PARTS OF THE WORK AS AGREED TO WITH
- .1 THE ARCHITECT SHALL PROVIDE ONE SET OF ELECTRONIC CONSTRUCTION DOCUMENTS IN PDF FORMAT TO THE "CONTRACTOR/CONSTRUCTION MANAGER" FOR USE IN BIDDING PROJECT. BIDDING OF WORK TO BE BASED ON CURRENT MARKET CONDITIONS. BIDS TO BE BASED ON STANDARD WORK AND INDUSTRY PRACTICES AS GOVERNED BY FEDERAL AND LOCAL RULES, REGULATIONS,
- AND OWNER STANDARDS FOR PERFORMING THE WORK. 4. "CONTRACTOR/CONSTRUCTION MANAGER" WILL CONDUCT A PRE-BID FACILITY AND SITE INSPECTION. ALL CONTRACTORS ARE ENCOURAGED TO MAKE AN ON SITE REVIEW OF EXISTING CONDITIONS TO VERIFY
- .1 "CONTRACTOR/CONSTRUCTION MANAGER" IS RESPONSIBLE FOR PREPARATION OF ALL CONTRACTS FOR
- EXECUTION OF THE WORK UNLESS ELECTED OTHERWISE BY OWNER. 5. ALTERNATES SHALL BE BID SEPARATELY AS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND AS
- DIRECTED BY "CONTRACTOR/CONSTRUCTION MANAGER" AND THE OWNER.
- 6. ALLOWANCES, UNIT PRICES AND SUBSTITUTIONS SHALL BE AS DIRECTED BY THE "CONRACTOR
- CONSTRUCTION MANAGER" AND/OR AS NOTED IN THE DRAWINGS, OR BY THE OWNER. 7. ALL CONTRACT(S) SHALL HAVE A MATERIAL AND PERFORMANCE BOND IF REQUIRED BY OWNER.
- BOND SHALL BÈ FOR THE TOTAL AMOUNT OF THE BID/WORK. 8. THE "CONTRACTOR/CONSTRUCTION MANAGER" SHALL OBTAIN AND PAY FOR ALL GENERAL PERMITS NECESSARY FOR THE COMPLETION OF THE WORK AND OCCUPANCY, SPECIFIC TRADE PERMITS SHALL BE
- BY SUCH CONTRACTORS AND OTHERS AS REQUIRED FOR COMPLETION OF THEIR WORK. .1 THE ARCHITECT SHALL FILE THE APPLICATION FOR THE GENERAL PERMIT TOGETHER WITH THE "CONTRACTOR/CONSTRUCTION MANAGER". 9. CONTRACTOR(S) SHALL OBTAIN AND MAINTAIN INSURANCE AS REQUIRED BY OWNER AND
- "CONTRACTOR/CONSTRUCTION MANAGER" (AS REQUIRED) FOR WORK ASSOCIATED WITH THEIR OPERATIONS THAT PROTECTS THE OWNER AND THEMSELFES, INCLUDING WORKERS' COMPENSATION. OWNER WILL PROVIDE BUILDER'S RISK INSURANCE. .1 COMMERCIAL LIABILITY INSURANCE SHALL BE AS REQUIRED BY THE "CONTRACTOR/CONSTRUCTION
- MANAGER" AND OWNER. MIN. AMOUNT SHALL BE AS DESIGNATED BY OWNER. 10. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION REFERENCE AND RESOLUTION SHALL BE AIA A201-2007.THE GENERAL CONDITIONS SHALL TAKE PRECEDENCE. THE GENERAL CONDITIONS SHALL TAKE PRECEDENCE UNLESS SUPERCEDED BY OWNER IN WRITING.
- 11. "CONTRACTOR/CONSTRUCTION MANAGER" TO COORDINATE SHOP DRAWING SUBMITTALS AND REVIEW BY THEMSELVES, THE OWNER AND THE ARCHITECT.
- 12. "CONTRACTOR/CONSTRUCTION MANAGER" WILL BE RESPONSIBLE FOR SCHEDULING OF ALL WORK AND COORDINATION OF ACTIVITIES IN CONJUNCTION WITH THE OWNER.
- 13. "CONTRACTOR/CONSTRUCTION MANAGER" WILL BE RESPONSIBLE FOR DOCUMENTING EXISTING AND IMPROVEMENTS CONDITIONS AS WORK PROGRESSES ON A SET OF DOCUMENTS FOR A RECORD SE OF "AS-BUILT" DOCUMENTS TO BE PROVIDED TO THE OWNER AT END OF CONSTRUCTION.
- INCLUDE COPIES OF CERTIFICATE OF OCCUPANCY. INCLUDE ALL WARRANTIES AND GUARANTEES FOR PRODUCTS, SYSTEMS, ETC.
- PROVIDE ALL INSPECTION CERTIFICATES AND APPROVAL DOCUMENTS FROM ALL CODE 14. "CONTRACTOR/CONSTRUCTION MANAGER" WILL BE RESPONSIBLE FOR COORDINATING AND COLLECTING
- NECESSARY PROJECT EQUIPMENT INFORMATION TO PREPARE AN OPERATIONS AND MAINTENANCE (O&M) MANUAL FOR COMPONENTS RESPONSIBLE FOR UNDER ITS CONTRACT AND WITH SUBCONTRACTORS AS REQUIRED BY OWNER.
- 15. "CONTRACTOR/CONSTRUCTION MANAGER" WILL BE RESPONSIBLE TO PUNCH REVIEW ALL WORK AND TO CONFIRM COMPLETION OF WORK BEFORE THE ARCHITECT AND OWNER MAKE THEIR PUNCH REVIEW.

SITE GENERAL NOTES

- ALL WORK DONE BEYOND SITE PROPERTY LIMITS AND/OR OFF-SITE MUST BE REPAIRED, FILLED, GRADED, SEEDED OR PERFORM OTHER NECESSAARY MEASURES TO ESTABLISH ORIGINAL CONDITION(S).
- 2. UTILITIES PROTECTION-EACH CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE OHIO PROTECTION SERVICE PRIOR TO ANY EXCAVATING. FENCING. PLANTING OR OTHER WORK THAT DISTURBS THE EARTH FOR LOCATION OF EXISTING UNDERGROUND FACILITIES. ALL OTHER OWNERS OF UNDERGROUND UTILITIES WHO ARE NOT CURRENT MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE SHOULD ALSO BE NOTIFIED TWO WORKING DAYS IN ADVANCE. THE CONTRACTOR(S) SHALL BE FULLY LIABLE FOR ANY AND ALL DAMAGES THAT MAY BE CAUSED TO EXISTING UTILITIES UPON FAILURE TO GIVE 48 HOURS NOTIFICATION
- 3. CONTRACTOR(S) PERFORMING WORK SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES AROUND WORK AREAS TO PROVIDE A SAFE ENVIRONMENT FOR PERSONS USING THE SITE AND BUILDINGS.
- NO EXCAVATING, CUTTING OF STRUCTURE OR THE LIKE SHALL BE DONE TO REDUCE THE STRUCTURAL INTEGRITY OF THE BUILDINGS AND/OR ITS COMPONENTS. 5. ADJACENT PROPERTIES SHALL NOT BE UTILIZED FOR THIS WORK UNLESS AUTHORIZATION IS OBTAINED
- FROM THAT OWNER. IT SHALL BE THE CONTRACTOR(S) RESPONSIBILITY TO REPAIR ANY AND ALL 6. ALL UNDERGROUND UTILITIES SERVICING THE BUILDINGS SHALL BE MAINTAINED DURING CONSTRUCTION
- ACTIVITY WHERE POSSIBLE. CARE MUST BE TAKEN DURING EXCAVATION NOT TO DAMAGE ANY EXISTING UTILITIES UNLESS APPROVED BY OWNER, ARCHITECT AND UTILITY COMPANY, BACKFILL AROUND FOUND UTILITIES IN ACCORDANCE WITH LOCAL UTILITY AND GOVERNING CODES OR REQUIREMENTS. ALL DAMAGED AND DISCONNECTED UTILITIES TO THE BUILDINGS BY CONTRACTOR(S) SHALL BE REPAIRED BY SAME AT NO COST TO THE OWNER.
- 7. ALL FILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 95% OF MODIFIED PROCTOR AT MAX. DENSITY IN CONFORMANCE WITH ASTM D1557. LIFTS SHALL BE DEPOSITED IN LAYERS NOT EXCEEDING 8" OF UNCOMPACTED THICKNESS. CONTRACTOR SHALL HAVE TESTING OF COMPACTED MATERIAL PERFORMED BY A SOILS ENGINEER. 8. ALL TRENCHES FOR UTILITIES SHALL BE FILLED IN ACCORDANCE WITH STANDARDS REQUIRED BY THE
- UTILITY AGENCY. A MIN. STANDARD FOR BACKFILL IS TO USE SAND BEDDING TO TOP OF PIPES WITH SELECT FILL MATERIAL, COMPACTED, TO SUBGRADE OR GRADE AS REQUIRED 9. CONTRACTOR PERFORMING WORK SHALL PROVIDE NECESSARY STAKING OF SITE FOR STRUCTURES.
- GRADES, ETC. PRIOR TO PERFORMING WORK. 10. REMOVE TREES STUMPS, BRUSH AND THE LIKE WHERE NEW WORK IS TO BE PERFORMED. PROTECT ALL LANDSCAPE MATERIAL TO REMAIN FROM DAMAGE-ANY DAMAGE SHALL BE REPAIRED OR PAID FOR
- BY THE CONTRACTOR DOING THE WORK. VERIFY WITH OWNER REMOVAL OF ANY LANDSCAPE MATERIAL. 11. ASPHALT/CONCRETE WORK-NEW AND/OR REPAIR WORK TO MATCH EXISTING MATERIAL IN THICKNESS,
- TYPE, FINISH AND IN ACCORDANCE TO ODOT, INDUSTRY AND/OR CODE STANDARDS FOR SPECIFIC WORK BEING PERFORMED 12. NEW LANDSCAPE AREAS TO BE CONSTRUCTED AS SHOWN OR INDICATED ON DRAWINGS. REMOVE
- PAVEMENT AND AGGREGATE BASE AND INSTALL TOPSOIL IN LANDSCAPE AREA. 13. NEW LANDSCAPE MATERIAL SHALL BE PROVIDED AS NOTED ON DRAWINGS AND SHALL BE INCONFORMANCE TO AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. PLANT MATERIALS SHALL BE HEALTHY AND PLANTED IN ACCORDANCE TO INDUSTRY STANDARDS FOR TYPE AND SIZE
- OF MATERIAL. PLANT MATERIAL SHALL BE WARRANTED FOR ONE YEAR MIN. 14. SEED OR SOD LAWN AREAS AS APPROVED BY OWNER AND INDICATED ON DRAWINGS. INSTALL IN ACCORDANCE TO INDUSTRY STANDARDS AND PROVIDE NECESSARY MAINTENANCE UNTIL PLANTED AREA IS FULLY GROWN WITH APPROPRIATE COVERAGE.
- 1 SEED SHALL BE PERENNIAL RYE GRASS(ES) MIX AS FOLLOWS OR EQ. 70% BLUEGRASS. RUGBY II (25%), BLUE MOON (20%)
- 30% PERENIAL RYE: ACCENT, GOLDKEEPER. .2 MULCH WITH STRAW AT RATE OF 2 TONS/ACRE OR EQ.
- 15. NEW LANDSCAPE MATERIAL SUCH AS TREES, SHRUBS, GROUND COVER OTHER THAN GRASS SHALL BE BY OWNER. AT MINIMUM CONTRACTOR TO PROVIDE MUCH MATERIAL FOR ALL BEDS WHERE LANDSCAPE MATERIAL IS REQUIRED.
- 16. STRIPE AND/OR RESTRIPE PARKING LOT AS SHOWN: DELETE EXISTING STRIPING AND MARKINGS SO NEW MARKINGS ARE CLEARLY VISIBLE. PAINT ALL STRIPPINGS AND MARKINGS IN COLOR APPROVED BY OWNER OR LOCAL REGULATORY ENTITY. CLEAN SURFACE TO RECEIVE PAINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 17. SITE INFORMATION WAS DEVELOPED BASED ON EXISTING DRAWINGS AND FIELD CHECKS. AN ACTUAL SURVEY WAS PERFORMED AND INFORMATION SHOWN IS AS ACCURATE AS POSSIBLE WITH FIELD GATHERED DATA. IT WILL BE NECESSARY TO CHECK FIELD CONDITIONS BEFORE COMMENCING WORK. ANY DISCREPANCIES SHALL BE RESOLVED BEFORE STARTING ACTUAL WORK.
- 18. SITE HAS NOT BEEN INSPECTED OR SURVEYED FOR HAZARDOUS OR CONTAMINATED MATERIAL. THE CONTRACTOR(S) SHALL CONFER WITH THE OWNER IN REGARD TO THIS ISSUE BEFORE COMMENCING ANY WORK. ANY HAZARDOUS OR CONTAMINATED MATERIAL KNOWN OR IDENTIFIED SHALL BE HANDLED OR PROCESSED IN ACCORDANCE WITH CURRENT GOVERNMENT REGULATIONS AND AGENCIES HAVING
- JURISDICTION. 19. SITE UTILITIES, SHOWN OR NOT, MUST BE COORDINATED WITH THE APPROPRIATE UTILITY FOR SERVICE
- ONNECTION AND BUILDING ENTRY 20. EASEMENTS ASSOCIATED WITH THE PROPERTY SHALL NOT BE UTILIZED FOR THIS WORK UNLESS AUTHORIZATION IS OBTAINED FROM THAT OWNER. IT SHALL BE THE CONTRACTOR(S) RESPONSIBILITY TO REPAIR ANY AND ALL DAMAGE TO SUCH PROPERTY.
- 21. WORK PERFORMED IN STREET RIGHT OF WAY SHALL BE DONE IN ACCORDANCE TO REGULATORY AGENCY HAVING JURISDICTION AND APPRORIATE PERMITS SHALL BE SECURED. ALL INSPECTIONS BARRICADES. TRAFFIC CONTROL DEVICES, ETC SHALL BE INCLUDED IN THE COST OF THE WORK.

GENERAL CONTRACT CONDITIONS

BEFORE PERFORMING WORK.

- 1. ALL CONSTRUCTION WORK AND MATERIALS SHALL SATISFY ALL APPLICABLE CODES AND REGULATIONS, BUILDING, ZONING, AND OTHER PERTINENT REQUIREMENTS. SEE CODE REFERENCED INFORMATION CONTAINED IN THESE DRAWINGS FOR INCLUSION IN WORK. 2. ALL DIMENSIONS, EXISTING CONDITIONS AND EXISTING SERVICES SHALL BE FIELD
- BEFORE STARTING WORK. CONSULT WITH THE ARCHITECT AS REQUIRED. 3. ALL DIMENSIONS ARE NOMINAL AND ARE MEASURED FROM FACE OF MASONRY, FACE OF FINISH SURFACE OR ROUGH FRAMING, FACE OR CENTERLINE OF STRUCTURAL STEEL OR
- AS NOTED ON THE DRAWINGS. 4. CONTRACTOR(S) SHALL VERIFY FIELD DISCREPANCIES WITH THE OWNER AND ARCHITECT

VERIFIED BEFORE COMMENCING WORK. ANY DISCREPANCIES SHALL BE RESOLVED

- 5. SEE STRUCTURAL, PLUMBING, SPRINKLER, HVAC, FIRE ALARM, ELECTRICAL, DATA, SECURITY AND COMMUNICATION DRAWINGS FOR COORDINATION OF OTHER ITEMS. ARCHITECTURAL DRAWINGS INCLUDING CODE INFORMATION SHALL TAKE PRECEDENCE IN CASE OF CONFLICT WITH OTHER DRAWINGS, UNLESS NOTED OTHERWISE. MOST RESTRICTIVE CONDITION OR REQUIREMENT SHALL BE INCORPORATED
- 6. ALL FINISH / MATERIAL AND COLOR SELECTIONS SHALL BE MADE BY THE OWNER AND/OR HIS AGENT. INTERIOR FINISHES SHALL HAVE THE MINIMUM FIRE AND SMOKE
- CHARACTERISTIC PER CODE.
- 7. INTERIOR SURFACE FINISH REQUIREMENTS SHALL BE PER CODE AND AS NOTED IN CODE
- REFERENCE INFORMATION INCLUDED IN THESE DOCUMENTS. 8. COORDINATE ACCESS OF THE EXISTING STRUCTURE AND SITE; AND REVISIONS TO
- AND/OR REMOVAL OF EXISTING EQUIPMENT AND MATERIALS WITH THE OWNER .1 "CONTRACTOR/CONSTRUCTION MANAGER" SHALL HAVE TOTAL CONTROL OF SITE AND BUILDINGS DURING CONSTRUCTION, UNLESS DIRECTED OTHERWISE BY OWNER. "CONTRACTOR/CONSTRUCTION MANAGER" SHALL PROVIDE AND INSURE THE SITE AND
- ENCLOSURE, LOCKING SYSTEM AND/OR OTHER APPROPRIATE MEASURE TO SECURE PROPERTY OF OWNER AND WORK OF OTHER CONTRACTORS. .3 OWNER WILL OCCUPY BUILDING DURING CONSTRUCTION.
- 9. ALL CONTRACTORS ARE RESPONSIBLE FOR EXAMINATION OF ALL CONTRACT DOCUMENTS TO ASCERTAIN THE FULL EXTENT OF THE WORK AND COORDINATION REQUIREMENTS WITH EACH OTHER.

BUILDINGS SECURITY DURING AND AFTER NORMAL WORK HOURS. PROVIDE NECESSARY

- 10. IT IS SOLELY THE CONTRACTOR(S) RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY STANDARDS, REGULATIONS AND/OR CODES AS REGULATED BY THE GOVERNING AGENCIES HAVING AUTHORITY AND/OR
- JURISDICTION. ALL WORK SHALL BE EXECUTED IN ACCORDANCE TO MANUFACTURER RECOMMENDATIONS AND/OR INDUSTRY STANDARDS IF NOT DIRECTED BY CODES. 11. WORKING HOURS AND COORDINATION OF INSPECTIONS BY PUBLIC ENTITIES SHALL
- BE SCHEDULED WITH THE OWNER'S KNOWLEDGE IF REQUIRED DUE TO ACTIVITIES. 12. MEANS AND METHODS OF CONSTRUCTION ARE SOLELY THE RESPONSIBILITY OF THE
- "CONTRACTOR/CONSTRUCTION MANAGER" AND IT'S SUBCONTRACTORS. 13. THE STRUCTURAL MODIFICATIONS ARE DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE WORK IS FULLY COMPLETED. THE CONTRACTOR(S) SHALL DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND THE
- 14. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THE GENERAL NOTES, THE SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- 15. ALL DEMOLITION WORK TO BE DONE WITHOUT DAMAGING NON-DEMOLISHED COMPONENTS. 16. ALL MATERIALS SUCH AS DRS. & FRS. HDW. ETC. REQUIRED TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER, UNLESS THE OWNER DECIDES NOT TO KEEP THE MATERIALS. THE DEMOLISHED ITEMS NOT KEPT SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- 17. ALL DEMOLITION WORK TO BE PERFORMED SO AS TO MINIMIZE DISTURBANCE TO THE OWNER'S AND/OR ADJACENT PROPERTY OWNERS' CONDITIONS/OPERATIONS. MEASURES SHOULD BE TAKEN TO MINIMIZE DUST, EXCESSIVE NOISE AND ACCUMULATION OF DEBRIS DURING OPERATIONS.
- 18. ALL MATERIAL REMOVED AND TO BE DISCARDED SHALL BE PROPERLY AND LEGALLY DISPOSED OF OFF-SITE.
- 19. AIR QUALITY MAY BECOME OBJECTIONABLE OR HAZARDOUS AS A RESULT OF DEMOLITION OR NEW CONSTRUCTION. CONTRACTOR(S) SHALL, BEFORE COMMENCING WORK, REVIEW THE SCOPE OF WORK FOR POSSIBLE AIR QUALITY CONCERNS AND ADDRESS NECESSARY MEASURES TO CONTROL ANY OBJECTIONABLE OR UNACCEPTABLE CONDITIONS. 20. SOME WORK MAY BE THE RESPONSIBILITY OF THE OWNER. THE CONTRACTOR
- SHALL REVIEW THE OWNER'S SCOPE OF WORK WITH BUILDING OWNER. 21. EXISTING WALLS AND ITEMS TO BE REMOVED ARE GENERALLY INDICATED ON PLAN AS DASHED
- LINES, UNLESS NOTED OTHERWISE. 22. EXISTING WALLS AND ITEMS TO REMAIN ARE GENERALLY INDICATED ON PLAN AS WHITE.
- 23. NEW WALLS ARE INDICATED ON PLAN AS DARKENED. THESE NOTES APPLY TO ALL WORK INCLUDING, BUT NOT LIMITED TO PLUMBING, FIRE PROTECTION
- HVAC, EQUIPMENT AND ELECTRICAL. 25. SHOULD A SPECIFIC DEMOLITION ITEM NOT BE IDENTIFIED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM NECESSARY WORK FOR PROPER
- CONSTRUCTION OR INSTALLATION OF NEW ITEMS OF WORK. 26. PROVIDE SECURE BLOCKING IN ALL WALL PARTITIONS FOR MOUNTING ITEMS, AS REQUIRED
- FOR LOAD & ATTACHMENT OF SHELVING, CABINETS, TOILET ACCESSORIES, GRAB BARS ETC 27. NEW ROOF PENETRATIONS TO BE PROPERLY SEALED AND FLASHED INTO THE
- EXISTING AND NEW ROOF SYSTEM TO PROVIDE A WATERTIGHT CONDITION. 28. REPAIR. PATCH AND/OR CORRECT EXISTING CONDITIONS TO ALLOW CONSTRUCTION OF NEW.

AND ANY OTHER EXISTING HOLES

- ALL SUCH WORK SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INDUSTRY STANDARDS AND/OR OWNER'S REQUIREMENTS FOR TYPE OF WORK TO BE DONE. COORDINATE SUCH WORK WITH ALL PARTIES AFFECTED BY IT. .1 PATCH ALL HOLES IN CONCRETE FLOOR AREAS WHERE REMOVED
- .2 COORDINATE ALL REPAIR AND PATCH WORK WITH OTHER TRADES 29. "CONTRACTOR/CONSTRUCTION MANAGER" TO PROVIDE TEMPORARY FACILITIES AS NECESSARY TO PERFORM THE WORK. THE EXISTING UTILITY SERVICES TO AND FACILITIES OF THE BUILDING(S) CAN BE USED WITH COST FOR SERVICES TO BE PAID BY CONTRACTOR(S) OR AS AGREED TO BY THÉ OWNER.
- EXISTING SERVICES AVAILABLE INCLUDE GAS, WATER, & ELECTRIC. COMMUNICATION SERVICES SUCH AS TELEPHONE & INTERNET SHALL BE BY EACH ONTRACTOR(S) SEPARATELY INCLUDING ALL COS CLEANING, REPÁIR & MAINTENANCE OF TEMPORARY FACILITIES IS THE RESPONSIBILITY OF
- HE CONTRACTOR(S) 30. SUSPECT POTENTIAL HAZARDOUS CONTAINING BUILDING MATERIALS AS REGULATED SHALL BE IDENTIFIED PRIOR TO COMMENCING WITH ANY WORK TO DISTURB. CONTRACTOR(S) SHALL TAKE AND BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY RULES AS REGULATED
- BY CURRENT STANDARDS, CODES, REGULATIONS CONCERNED WITH SUCH MATERIALS. 31. PROJECT WHEN COMPLETE IS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, ANSI 117.1 AND OTHER REGULATING REQUIREMENTS, AS REQUIRED FOR NEW OR EXSITING WORK AND AS
- IDENTIFIED IN THE CONSTRUCTION DOCUMENTS. 32. PROJECT SHALL BE MAINTAINED IN AN CLEAN AND ORDERLY MANNER TO PROVIDE A SAFE WORK ENIVIRONMENT FOR ALL WORKERS BY ALL CONTRACTORS.
- 33. PROJECT MATERIALS ARE IDENTIFIED ON THE DRAWINGS. THE PRODUCT OR COMPONENT IDENTIFIED IS THE BASIS OF THE PROJECT DESIGN INTENT. OTHER EQUIVALENT PRODUCTS OTHER THAN THE BASIS CAN BE USED BY A CONTRACTOR(S) PROVIDED THAT ALL ADDITIONAL COST 1 UTILIZE SUCH PRODUCT SHALL BE INCLUDED IN THE COST IF INSTALLATION IMPOSES DIFFERENT CONDTIONS FROM THE BASIS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL OTHER TRADES AND INCLUDE SUCH ADDITIONAL COORDINATION AS MAY BE REQUIRED BY
- THE OTHER CONTRACTORS. THIS REQUIREMENT APPLIES TO SUBSTITUTIONS TO BE CONTEMPLATED 34. ITEMS WITH NO SPECIFIC PRODUCT IDENTIFICATION SHALL BE BASED ON THE MOST EQUIVALENT FOR THE INDUSTRY ITEM FOR THE THE SPECIFIC COMPONENT FOR THE INTENTED USE AS
- 35. "CONTRACTOR/CONSTRUCTION MANAGER" SHALL PROVIDE OWNER WITH OCCUPANCY PLAQUES AND OTHER REQUIRED SIGNAGE FOR POSTING IN SPACES OR ON EXTERIOR PER CODE REQUIREMENTS.
- 36. COORDINATE ALL DEMOLITION WORK WITH NEW CONSTRUCTION WORK SHOWN OR NOT ON ALL RAWINGS INCLUDING STRUCTURAL, PLUMBING, SPRINKLER, MECHANICAL AND ELECTRICAL. 37. BEFORE COMMENCING DEMOLITION WORK, COORDINATE DISCONNECTING OR TERMINATING UTILITY
- SERVICES TO AREAS AFFECTED. 38. ALL DEMOLITION WORK REQUIRING SHORING, BRACING AND THE LIKE SHALL BE IN PLACE BEFORE COMMENCING WITH WORK. SHOULD THERE BE ANY QUESTIONS, CONTACT THE ARCHITECT AND/OR
- 39. OWNER WILL PROVIDE SECURITY, DATA AND COMMUNICATION SYSTEM FOR BUILDING. "CONTRACTOR/ CONSTRUCTION MANAGER" TO COORDINATE SYSTEM DESIGN AND INSTALLATION WITH WORK. SYSTEMS BY OWNER:
- TELEPHONE AND DATA ELECTRONIC SECURITY AND SURVELLIANCE
- .3 AUDIO/VISUAL 40. "CONTRACTOR/CONSTRUCTION MANAGER" TO PROVIDED CLEANING OF SITE AND BUILDING AT
- COMPLETION OF ALL WORK ACCEPTABLE TO THE OWNER PRIOR TO OCCUPANCY 41. ALTERNATES IDENTIFED IN THE WORK TO BE INCLUDED AS AN ADD OR DEDUCT FOR OWNER CONSIDERATION IN FINAL PROJECT SCOPE OF WORK, ALTERNATES TO INCLUDE GENERAL, STRUCTURAL, PLUMBING, HVAC. ELECTRICAL, FIRE SYSTEM ELEMENTS AND ALL OTHER ITEMS REQUIRING COMPLETION OF THE WORK.

PROJECT GENERAL SPECIFICATIONS

MASONRY-BRICK

- 1. BRICK MASONRY UNITS BASED ON MATCH WITH EXISTING BUILDING BRICK. SELECTED PRODUCT IS FROM XXXX DISTRIBUTED BY COLUMBUS BUILDERS SUPPLY OF COLUMBUS, OHIO. PRODUCT IS VENEER BRICK XXXXXX, MODULAR SIZE (3 5/8"W X 2 1/4"H X 7 5/8"L); MACHINE TYPE; CONFORMING TO ASTM C216, GRADE SW, TYPE FBS.
- INSTALL RUNNING BOND WITH OTHER DETAILS AS NOTED ON DRAWINGS
- .2 INSTALL VENEER SYSTEM IN ACCORDANCE TO CODE AND INDUTRY STANDARDS INCLUDING WALL TIES, FLASHING, WEEPS, LINTELS, EXPANSION/CONTROL JOINTS, SEALANTS, MORTAR DIVERTERS AND OTHER PERTINENT COMPONENTS AS REQUIRED FOR A QUALITY INSTALLATION AND WATERTIGHT CONDITION.
- .3 MORTAR ASTM C 270 TYPE N BLENDED PER BRICK MANUFACTURER AND INDUSTRY RECOMMENDATIONS FOR CONDITIONS IN FIELD. MORTAR TO MATCH EXISTING BUILDING MORTAR IN COLOR AND FINISHED WITH SAME
- 4 CONCTRUCT A MOCKUP WALL 4' X 4' FOR VERIFICATION OF MATCH TO EXISTING WALL. .5 FLASHING MATERIAL EPDM SYNTHETIC RUBBER.
- 2. COATING SYSTEM FOR BRICK-BASED ON PROSOCO SURE CLEAN WEATHER SEAL NATURAL STONE TREATMENT WB PLUS, A MODIFIED SILOXANE WATER REPELLENT. INSTALL IN ACCRDANCE TO MANUFACTURER

- WOOD, PLASTICS AND COMPOSITES 1. COUNTERTOPS, WINDOW SILLS & MISC. ITEMS-BASE PRODUCT BASED ON DUPONT CORIAN SOLID SURFACE COMPOSITE MATERIAL THAT IS NON-POROUS WITH SOLID COLOR THROUGH MATERIAL BODY.
- BACK SPLASHES AND EDGING AS IDENTIFED. .2 INSTALL IN ACCORDANCE TO MANUFACTURER RECOMMENDATIONS WITH APPRORIATE ADHESIVES, FASTNERS
- AND SUPPORTS. 2. PLASTIC LAMINATE BASED ON FORMICA PRODUCT-PROVIDE SOLID COLOR THROUGH SHEET MATERIAL FOR CONDITIONS NOTED ON DRAWINGS AND PROVIDE APPROPRIATE ADHESIVES AND TRIM DETAILS FOR THE
- CONDITION. SEAL ALL EXPOSED EDGES WITH SEALNAT TO MATCH LAMINATE AS REQUIRED. 3. FIBERGLASS REINFORCED PLASTIC PANEL BASED ON MARLITE PRODUCT-PROVIDE SOLID COLOR THROUGH SHEET MATERIAL, PEBBLED SURFACE FOR CODITIONS NOTED ON DRAWINGS AND PROVIDE APPROPRIATE ADHESIVES AND TRIM DETAILS FOR THE CONDITION. SEAL ALL EXPOSED EDGES WITH SEALANT TO MATCH

THERMAL & MOISTURE PROTECTION

LAMINATE AS REQUIRED.

- 1. EXTERIOR WALL BARRIER WRAP BASED ON DUPONT "TYVEK" COMMERCIAL WRAP PROVIDING WEATHER PROTECTION; AIR, MOISTURE AND ENERGY MANAGEMENT. PRODUCT MATERIAL IS A 7.1 MIL SPUNBONDED POLYETHYLENE MEMBRANE, INSTALL IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS.
- 2. FOUNDATION BELOW GRADE INSULATION BASED ON OWENS CORNING FORMULAR INSUL-DRAIN EXTRUDED POLTSTRENE BOARD. PRODUCT MATERIAL CHARACTERISTICS: MEETS UL ASTM C578 TYPE IV, R 10 MINIMUM, 25 PSI MINIMUM COMPRESSIVE STRESS AND FILTRATION FABRIC. INSTALL IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS.
- 3. EXTERIOR ABOVE GRADE INSULATION BASED ON FIBERGLAS BATT TYPE BY OWNES-CORNING. PRODUCT MATERIAL CHARACTERISTICS: MEETS INDUSTRY STANDARDS PER CODE REQUIREMENTS, NON-COMBUSTIBLE PER ASTM E136. INSTALL IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS.
- $5\frac{1}{2}$ " THICK FOR A R-21 MINIMUM PER ASTM C518 FOR EXTERIOR STUD WALLS. 2 13" THICK FOR A R-38 MINIMUM PER ASTM C518 FOR EXTERIOR EXPOSED CEILING AREA.
- 4. NEW LOW PITCH ROOF SYSTEM TO BE FULLY ADHERED EPDM SYSTEM BASED ON FIRESTONE RUBBERGARD (CLASS C). THE EXISTING ROOF SYSTEM(S) IS UNDER WARRANTY ANY WORK TO INSTALL NEW AND PATCH OR REPAIR TO EXISTING SHALL MANTAIN WARRANTY. PRODUCT MATERIAL CHARACTERISTICS: 60 MIL EPDM
- MEMBRANE. INSTALL IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS .1 PROVIDE FLASHING AS REQUIRED FOR ALL PENETRATIONS TO ACHIEVE A WATERTIGHT SEAL
- .2 PROVIDE METAL AND FLEXIBLE FLASHING, TERMINATION BARS. OTHER TRIM COMPONENTS TO ACHIEVE A
- .4 PROVIDE MANUFACTURERS POLYISO 95 INSULATION WITH A R-25 MINIMUN. USE TAPER INSTALLATION TO ACHIEVE SLOPED SURFACES. 5. NEW STEEP PITCH ROOF SYSTEM TO BE ASPHALT SHINGLES TO MATCH EXISTING PROVIDE CLASS C. INSTALL IN

.3 PROVIDE MANUFACTURERS WALKWAY SYSTEM FOR AREAS NOTED ON DRAWINGS.

- ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS. .1 PROVIDE ALL FLASHING AND TRIM AS NOTED ON DRAWINGS AND REQUIRED FOR TO ACHIEVE A WATERTIGHT
- .2 PROVIDE WATERTIGHT UNDER LAYMENT IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS TO ROOF

1. EXTERIOR WINDOWS BASED ON KAWNEER TRI-FAB 450 SYSTEM, THERMAL BREAK FRAME PRODUCT WITH 1"

- INSULATED GLAZING FIXED UNIT. GLAZING AT MIN NATURAL SUN LOW-E INSULATING GLASS WITH ARGON (TEMPERED WHERE REQUIRED). 1 PROVIDE SILL FLASH PAN.
- MATCH EXISTING WINDOW FRAME SYSTEM IN COLOR, FINISH AND STYLE CONFIGURATION. .3 MATCH EXISTING WINDOW GLAZING GLASS COLOR .4 PROVIDE SEALANTS, TRIM AND OTHER COMPONENTS REQUIRED TO PROPERLY COMPLETE THE SYSTEM FOR
- WATERTIGHT CONDITION. 2. EXTERIOR AND INTERIOR DOORS AND FRAMES SEE SCHEDULES FOR PRODUCT INFORMATION.

SHEATHING.

- FINISH PRODUCT BASED ON SHERWIN WILLIAMS OR COMPARABLE PRODUCTS .1 UTILIZE PRODUCTS RECOMMENDED BY SUPPLIER FOR SURFACES TO BE COATED TO ACHIEVE A HIGH QUALITY
- AND DURABLE FINISH. .2 PREP NEW AND EXISTING SURFACES IN ACCORDANCE TO MANUFACTER RECOMMENDATIONS. .3 SEE FINISH AND DOOR SCHEDULES, EXTERIOR BUILDING ELVATIONS, INTERIOR ELEVATIONS AND DETAILS IN
- DRAWINGS FOR ITEMS REQUIRING FINISHES TO BE APPLIED. 2. ALL EXISTING INTERIOR PREPAINTED DRYWALL/PLASTER CEILINGS AND WALLS TO BE PRIMED AND FINISHED WITH 2 EGGSHELL COATS.
- 3. ALL NEW INTERIOR UNPAINTED DRYWALL CEILINGS AND WALLS TO BE PRIMED AND FINISHED WITH 2 EGGSHELL
- COATS 4. ALL EXISTING INTERIOR WOODWORK (DOORS, PANELING, ETC,) TO BE REFINISHED TO BE CLEANED. SANDED. STAINED AS NECESSARY TO ACHIEVE A UNIFORM/NATURAL LOOK AND FINISHED WITH 2 SEMI-GLOSS COATS OF POLYURETHANE. VERIFY BASE FINISH PRIOR TO WORK TO CONFIRM ACCEPTABILITY OF FINAL FINISH AND
- MATERIAL COMPATIBILITY. 5. ALL EXISTING INTERIOR PREPAINTED METAL DOOR AND FRAMES TO BE PRIMED AND FINISH WITH 2 SEMI-GLOSS ENAMEL FINISH COATS.
- 6. ALL NEW INTERIOR UNPAINTED METAL DOOR AND FRAMES TO BE PRIMED AND FINISH WITH 2 SEMI-GLOSS ENAMEL FINISH COATS. PRIMED PRODUCTS SPOT PRIME AS REQUIRED AND FINISH WITH 2 SEMI-GLOSS ENAMEL

PROJECT GENERAL SPECIFICATIONS

FINISHES (CONTINUED)

- 7. ALL NEW WOODWORK TO BE STAINED TO MATCH EXISTING WOOD FINISH OF SPACE, PROVIDE A SEALER AS
- NECESSARY FOR EVEN FINISH AND FINISH WITH 2 SEMI-GLOSS POLYURETHANE COATS. 8. ALL NEW INTERIOR WOOD DOORS TO BE PRIMED AND FINISH WITH 2 SEMI-GLOSS FINISH COATS. PRIMED
- PRODUCTS SPOT PRIME AS REQUIRED AND FINISH WITH 2 SEMI-GLOSS ENAMEL COATS. 9. EXTERIOR EXISTING WOOD TRIM, SIDING, MISC. STEEL ITEMS, DOORS AND FRAMES.
- .1 VERIFY WITH OWNER ON EXISTING FINISH PRODUCTS. IF NO INFORMATION IS AVAILABLE SURFACES NEED TO BE
- CHECKED TO CONFIRM ACCEPTABLE NEW COATING SYSTEM .2 MINIMUM RECOATING TO CONSIST OF SPOT PRIMER AND 2 SEMI-GLOSS ENAMEL FINISH COATS
- 10. EXTERIOR NEW WOOD TRIM, COMPONENTS, MISC. STEEL ITEMS, DRYWALL, DOORS AND FRAMES.
- MINIMUM COATING TO CONSIST OF PRIMER AND 2 SEMI-GLOSS ENAMEL FINISH COATS.
- 11. EXTERIOR AND INTERIOR NEW OR EXISTING MASONRY BLOCK AND CONCRETE .1 NEW BLOCK-BLOCK FILLER PRIMER AND 2 SEMI-GLOSS ENAMEL FINISH COATS
- EXISTING BLOCK-BLOCK FILLER OR PAINT PRIMER AND 2 SEMI-GLOSS ENAMEL FINISH COATS. .3 NEW CONCRETE-PRIMER AND 2 SEMI-GLOSS ENAMEL FINISH COATS.
- .4 EXISTING CONCRETE-SPOT PRIMER AND 2 SEMI-GLOSS ENAMEL FINISH COATS. 12. SHOWER AREA NEW DRYWALL WALLS AND CEILINGS TO BE PRIMED AND 2 EPOXY SEMI-GLOSS FINISH COATS.
- 13. INTERIOR FLOOR FINISHES-PROVIDE CLEAN AND LEVEL SURFACE ACCEPTABLE TO INSTALL MATERIAL IDENTIFIED IN THE FINISH SCHEDULE. PRODUCTS BASED ON FOLLOWING SPECS: CARPET TILE-MILLIKEN SOUTHERN ANALOG COLLECTION, CUSHION-BACK
- LUXURY VINYL TILE (LVT)-MILLIKEN WOOD LVT 2.5 MM OVERALL THICKNESS WITH 28 MIL WEAR LAYER.
- SHEET VINYL SHOWER AREAS-ARMSTRONG REJUVENATIONS HETEROGENOUS SHEET, 2.0 MM OVERALL THICKNESS WITH .55 MM WEAR LAYER, POLISH NO BUFF. HEAT WELDED JOINTS WITH EPOXY FULL SPREAD ADHESIVE.
- 14. CEILING SYSTEM FOR RESTROOM AREAS-DRYWALL PAINTED.

WITH 100% SOLUTION DYED NYLON PILE.

15. CEILING SYSTEM FOR HALLS AND GENERAL AREAS-PRODUCT BASED ON ARMSTRONG GEORGIAN HIGH WASHABILITY 24"X 48"X 5/8" TILE WITH STANDARD METAL WHITE FINSH EXPOSED GRID SUSPENSION SYSTEM.

1. TOILET ACCESSORIES BASED ON BOBRICK COMPONENTS.

- .1 TOILET DISPENSER 2 ROLL VANDAL RESISTANT, CHROME UNIT MODEL B-265.
- .2 GRAB BARS 1½" ROUND DIAMETER, 18 GAUGE, 304 SS WITH MOUNTING PLATE AND COVER. PROVIDE CONFIGURATION NOTED ON DRAWINGS.
- .3 CLOTHES HOOK-POLYMIDE FIBERGLASS REINFORCED NYLON SINGLE HOOK UNIT WITH CONCEALED WALL PLATE .4 MIRRORS-24"W X 36"H TEMPERED GLASS WITH ONE PIECE SS CHANNEL FRAME WITH THEFT-RESISTANT

CONCEALED WALL HANGER UNIT B-1659 2436.

- 1. CASEWORK FOR INTERIOR CABINETS TO BE PLASTIC LAMINATED TYPE MANUFACTURED IN ACCORDANCE TO
- INDUSTRY AWI STANDARDS AND REQUIREMENTS. .1 CORE MATERIALS OF PARTICLEBOARD, FIBERBOARD OR PLYWOOD SIZED FOR COMPONENT STRUCTURE
- .2 DECORATIVE SURFACES OF HIGH-PRESSURE LAMINATE EXPOSED TO SPACE AND MELAMINE LAMINATE ON INTERIOR.
- .3 EDGING OF PVC BANDING. .4 PROVIDE COMPLETE HARDWARE FOR DOORS, DRAWERS AND SHELVING.

WITH SCREW SLOT AND INTEGRAL LATCH TO PREVENT UPLIFT.

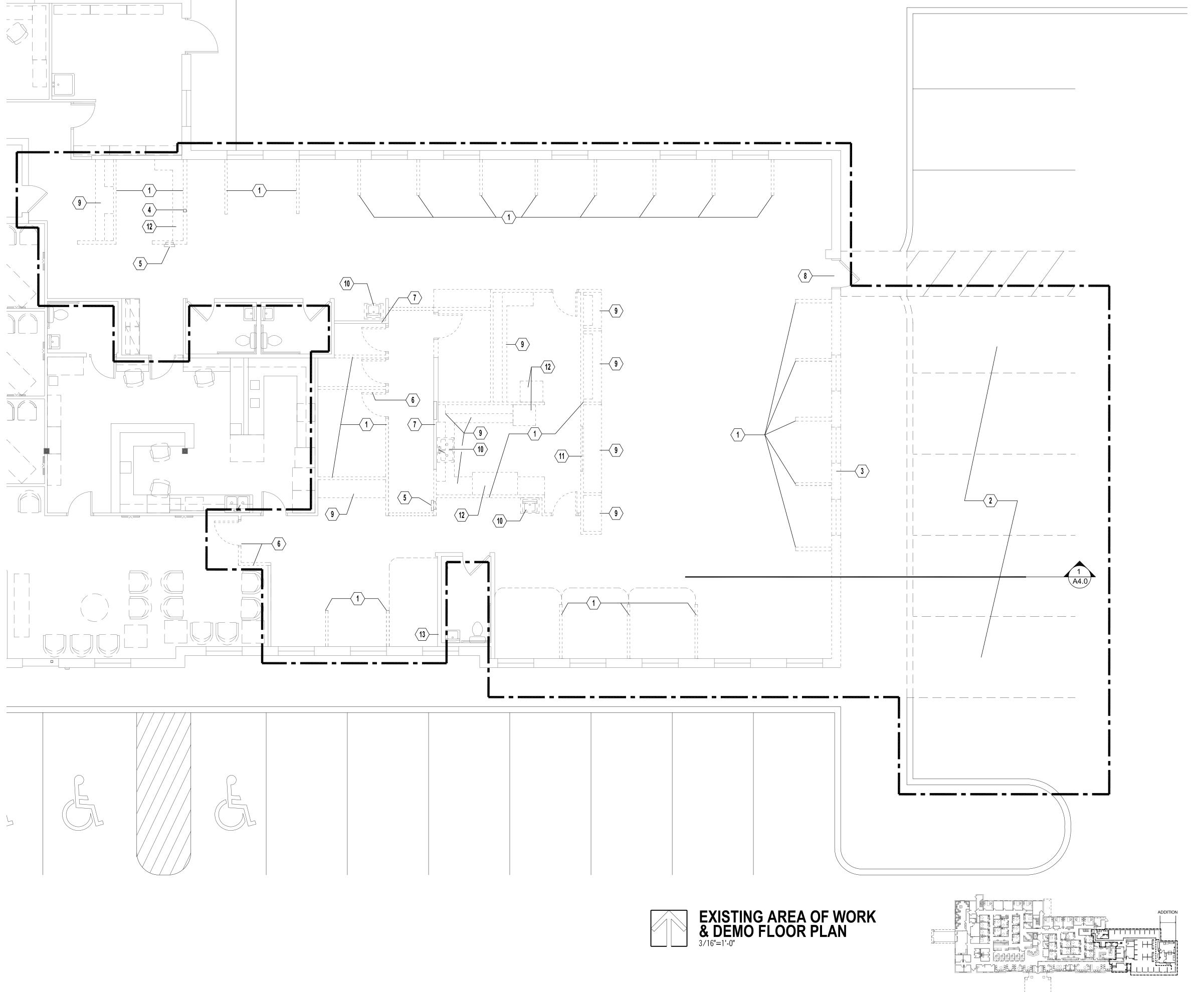
.1 HINGES CONCEALED EUROPEAN STYLE WITH 165 DEGREE OPENING RADIUS, FULLY ADJUSTABLE, SIZED FOR DOORS MEETING ANSI/BHMA A156 STANDARDS.

 4 SHELF SUPPORTS ADJUSTABLE AT 1 $\frac{1}{4}$ " ON CENTER WITH POLYCARBONATE DOUBLE PIN, CLEAR LOCKING UNIT

.2 DRAWER SLIDES MEETING ANSI/BHMA A156, LOAD RATED FOR 100 LBS. .3 PULLS FOR DOORS AND DRAWERS STANDARD ALUMINUM WIRE DESIGN COMPLYING WITH ADAGG AND ANSI 1117.7 STANDARDS FOR ACCESSIBILITY.



ОШДОО



○CODED NOTES-DEMO PLN

1. REMOVE EXISTING WALLS COMLETELY.

4. EXISTING STEEL COLUMN TO REMAIN.

5. REMOVE EXISTING FIRE EXTINGUISHER AND RECESSED METAL CABINET AND REUSE IN NEW

6. REMOVE EXISTING DOOR/FRAME AND WALL

7. EXISTING WALLS TO REMAIN AND REUSED AS

REMOVE EXISTING BASE CABINETS AND/OR COUNTER, WALL CABINETS AND/OR

10. REMOVE EXISTING PLUMBING ITEMS.

11. REMOVE GLASS SLIDING DOOR UNIT.

12. EXISTING EQUIPMENT TO BE REMOVED BY

13. DEMO WORK REQUIRED TO EXISTING WALL TO INSTALL NEW WALL MOUNTED SINK.

8. EXISTING DOOR/FRAME AND OPENING TO REMAIN.

SYSTEM AROUND AS SHOWN.

MUCH AS POSSIBLE.

SHELVING-TYP.

OWNER.

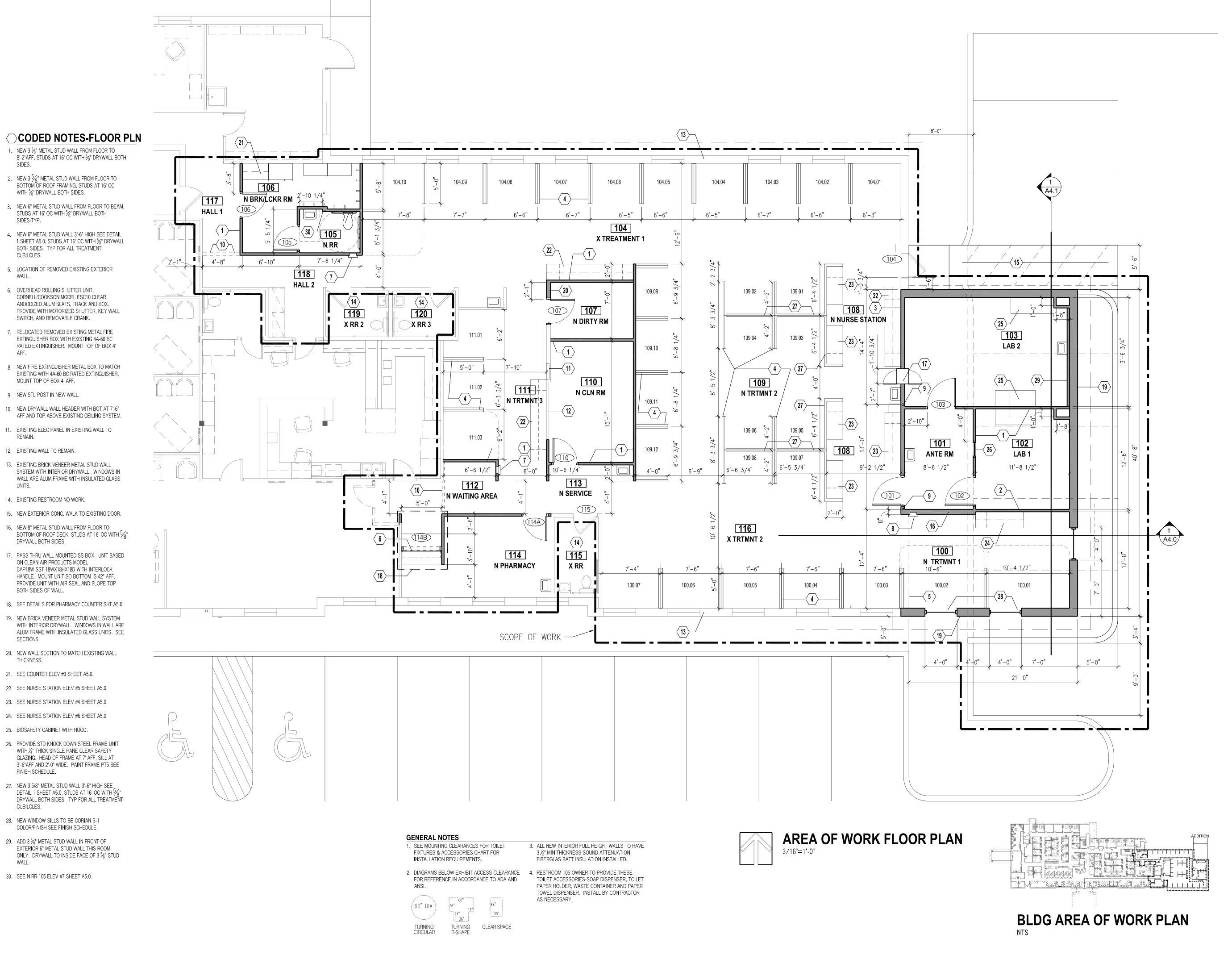
SITE WORK.

2. REMOVE EXISTING PAVEMENT/CURBING WHERE NEW ADDITION IS LOCATED, COORDINATE WITH

3. REMOVE EXISTING METAL STUD WALL WITH BRICK VENEER INCLUDING WINDOWS AT LOCATION FOR NEW ADDITION. VERIFY EXTENT OF DEMO WITH NEW FLOOR PLAN AND RELATED DETAILS.

ONCOLOGY & GY INFUSION Sheet Reference:

BLDG AREA OF WORK PLAN



1. NEW 3 %" METAL STUD WALL FROM FLOOR TO

2. NEW 3 $\frac{5}{8}$ " METAL STUD WALL FROM FLOOR TO

STUDS AT 16' OC WITH 5/8" DRYWALL BOTH

4. NEW 6" METAL STUD WALL 3'-6" HIGH SEE DETAIL

BOTH SIDES. TYP FOR ALL TREATMENT

5. LOCATION OF REMOVED EXISTING EXTERIOR

CORNELL/COOKSON MODEL ESC10 CLEAR ANOODIZED ALUM SLATS, TRACK AND BOX.

7. RELOCATED REMOVED EXISTING METAL FIRE

EXTINGUISHER BOX WITH EXISTING 4A-60 BC RATED EXTINGUISHER. MOUNT TOP OF BOX 4'

8. NEW FIRE EXTINGUISHER METAL BOX TO MATCH

10. NEW DRYWALL WALL HEADER WITH BOT AT 7'-6" AFF AND TOP ABOVE EXISTING CEILING SYSTEM.

11. EXISTING ELEC PANEL IN EXISTING WALL TO

13. EXISTING BRICK VENEER METAL STUD WALL

SYSTEM WITH INTERIOR DRYWALL. WINDOWS IN WALL ARE ALUM FRAME WITH INSULATED GLASS

EXISTING WITH 4A-60 BC RATED EXTINGUISHER.

PROVIDE WITH MOTORIZED SHUTTER, KEY WALL

6. OVERHEAD ROLLING SHUTTER UNIT,

SWITCH, AND REMOVABLE CRANK.

MOUNT TOP OF BOX 4' AFF.

9. NEW STL POST IN NEW WALL.

12. EXISTING WALL TO REMAIN.

14. EXISTING RESTROOM NO WORK.

ON CLEAN AIR PRODUCTS MODEL

BOTH SIDES OF WALL.

SECTIONS.

THICKNESS.

CAP18W-SST-18WX18HX18D WITH INTERLOCK

HANDLE. MOUNT UNIT SO BOTTOM IS 42" AFF. PROVIDE UNIT WITH AIR SEAL AND SLOPE TOP

18. SEE DETAILS FOR PHARMACY COUNTER SHT A5.0.

19. NEW BRICK VENEER METAL STUD WALL SYSTEM

20. NEW WALL SECTION TO MATCH EXISTING WALL

21. SEE COUNTER ELEV #3 SHEET A5.0.

22. SEE NURSE STATION ELEV #5 SHEET A5.0.

23. SEE NURSE STATION ELEV #4 SHEET A5.0.

24. SEE NURSE STATION ELEV #6 SHEET A5.0.

26. PROVIDE STD KNOCK DOWN STEEL FRAME UNIT WITH 1/4" THICK SINGLE PANE CLEAR SAFETY GLAZING. HEAD OF FRAME AT 7' AFF, SILL AT 3'-6"AFF AND 2'-0" WIDE. PAINT FRAME PT5 SEE

27. NEW 3 5/8" METAL STUD WALL 3'-6" HIGH SEE _ DETAIL 1 SHEET A5.0, STUDS AT 16' OC WITH $\frac{5}{8}$ "

28. NEW WINDOW SILLS TO BE CORIAN S-1 COLOR/FINISH SEE FINISH SCHEDULE.

30. SEE N RR 105 ELEV #7 SHEET A5.0.

29. ADD 3 ¾" METAL STUD WALL IN FRONT OF

EXTERIOR 6" METAL STUD WALL THIS ROOM

ONLY. DRYWALL TO INSIDE FACE OF 3 1/8" STUD

25. BIOSAFETY CABINET WITH HOOD.

FINISH SCHEDULE.

REMAIN.

WITH ¾" DRYWALL BOTH SIDES.

SIDES-TYP.

CUBILCLES.

BOTTOM OF ROOF FRAMING, STUDS AT 16' OC

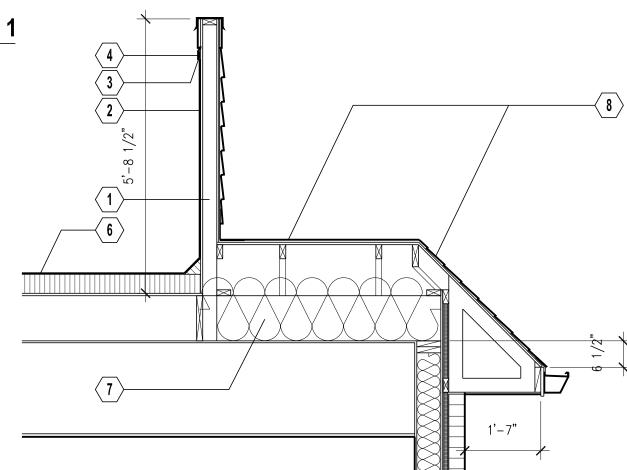
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NCOLOGY & Y INFUSION

- 2X4 WOOD STUD WALL AT 16" OC, STOUDS FROM BOTTOM OF ROOF FRAMING MEMBER TO HEIGHT NOTED.
 EPDM MEMBRANE/FLASHING OVER ⁵/₈" SHEATHING ON VERTICAL FACE CONT-TYP.
- 3. TERMINATION BAR AT TOP EDGE OF EPDM MEMBRANE CONT-TYP.
- MTL COUNTER FLASHING OVER TERMINATION BAR-TYP.
- 5. 1X8 BORAL TRIM PAINTED TO MATCH EXISTING TRIM CONT-TYP.
- 6. 60 MIL FULLY ADHERED EPDM MEMBRANE ROOF SYSTEM (CLASS C RATING MIN)-TYP.
- 7. 14" THICK BATT VAPOR BARRIER FACED
 INSUALTION R49 MIN-TYP W/ VAPOR BARRIER TO

INSIDE.

- 8. NEW ASPHALT SHINGLES OVER CONT UNDERLAYMENT OVER WOOD DECKING. SHINGLES TO MATCH EXISTING IN STYLE, COLOR AND PATTERN-TYP.
- 9. ATTIC VENT BAFFLE FLAME RESISTANT PVC FOR 24" OC FRAMING BASED ON ACCUVENT PRODUCT OR PROVIDE COMPARABLE.

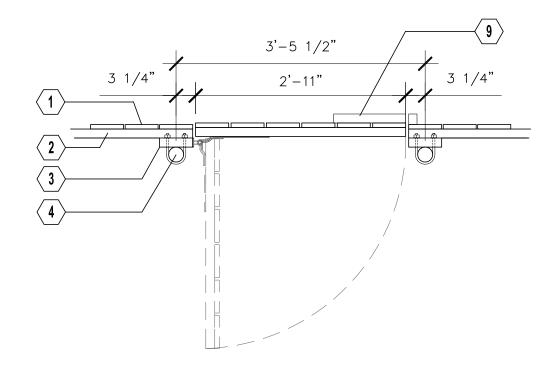


1 SECTION 3/4"=1'-0"

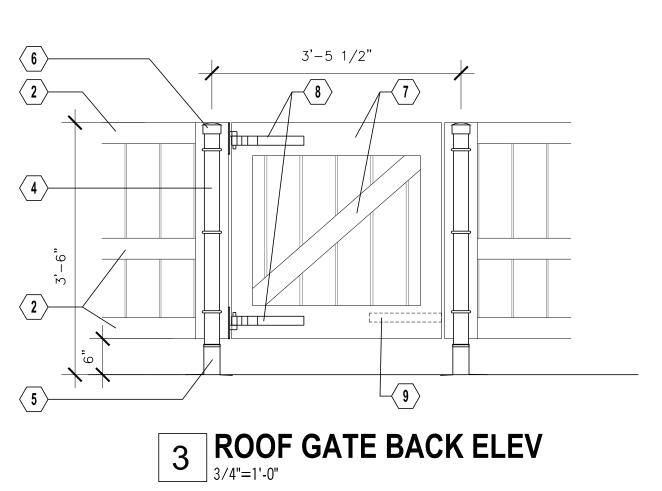
CODED NOTES-ROOF GATE

1. 1X6 BORAL TRIM BRD-TYP.

- 2. 2X4 TREATED WOOD HORIZ RAIL SECURED TO 4X6 AT POST WITH 2-3/8" GALVANIZED LAG BOLTS AT EACH END-TYP.
- 3. 2X8 TREATED WOOD VERTICAL SECURED TO STL VERTICAL POST WITH 3 "U" SHAPED FASTNERS %" THICK WITH WASHERS AND NUTS-TYP.
- 2½" DIAMETER GALVANIZED STEEL PIPE SUPPORT FOR SCREEN AND FALL PROTECTION STRUCTURE-TYP.
- 5. ROOF FLASHING AT BOT OF PIPE-TYP.
- 6. GALVANIZED PIPE CAP SEAL IN PLACE-TYP.
- 7. 2X6 TREATED TOP AND BOTTOM RAIL OF GATE OTHERS 2X4.
- 8. GALVANIZED PAINTED 12" LONG STRAP HINGES WITH BAND PIN UNIT BASED ON SNUG COTTAGE MODEL #8295. INSTALL PER MANUFACTURE RECOMMENDATIONS IN FIXED POSITION.
- CALVANIZED PAINTED 12" SLIDE BOLT LATCH FLUSH MOUNT ON OTHER SIDE OF GATE AT BOTTOM RAIL. BASED ON SNUG COTTAGE MODEL 5000-12SP WITH PADLOCK MOUNTING.

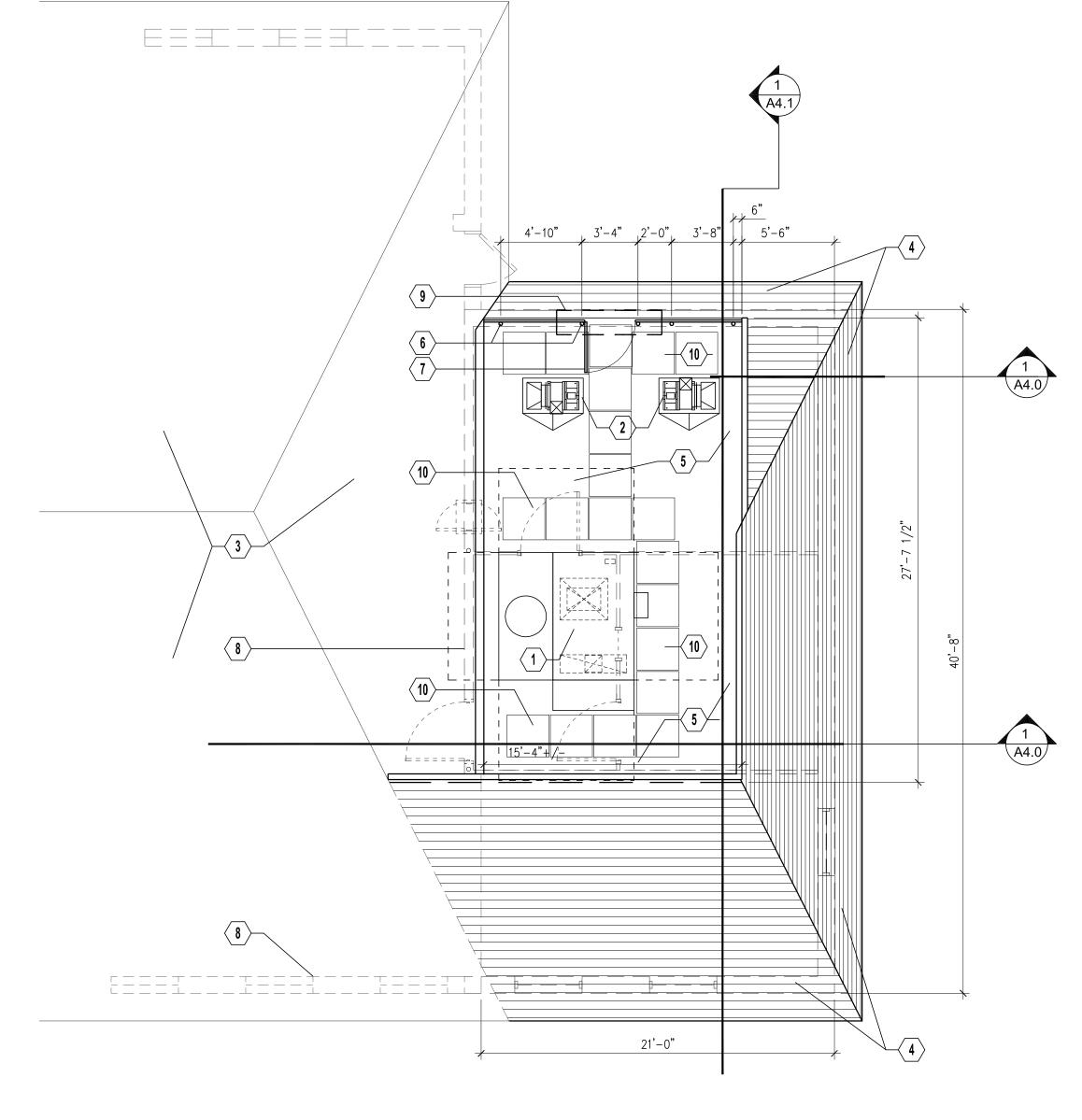


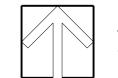
2 ROOF GATE PLAN
3/4"=1'-0"



○CODED NOTES-ROOF PLN

- 1. NEW ROOFTOP HVAC UNIT-SEE MECH DRAWINGS.
- NEW ROOFTOP EXHAUST FAN-SEE MECH DRAWINGS.
- 3. EXISITNG SLOPED SHINGLE SURFACE.
- 4. NEW SLOPE SHINGLE SURFACE-TYP.
- 5. NEW SLOPED SINGLE-PLY ROOF SYSTEM.
- 6. 2½" DIAMETER GALVANIZED STEEL PIPE SUPPORT FOR SCREEN AND FALL PROTECTION STRUCTURE-TYP.
- 7. 36" WIDE SWINGING ACCESS PANEL.
- 8. WALLS AND OTHER ITEMS BELOW ROOF-TYP.
- 9. SEE GATE DETAIL 2 AND 3 THIS SHEET.
- 10. ROOF WALKWAY PADS-TYP.





AREA OF WORK ROOF PLAN
3/16"=1'-0"



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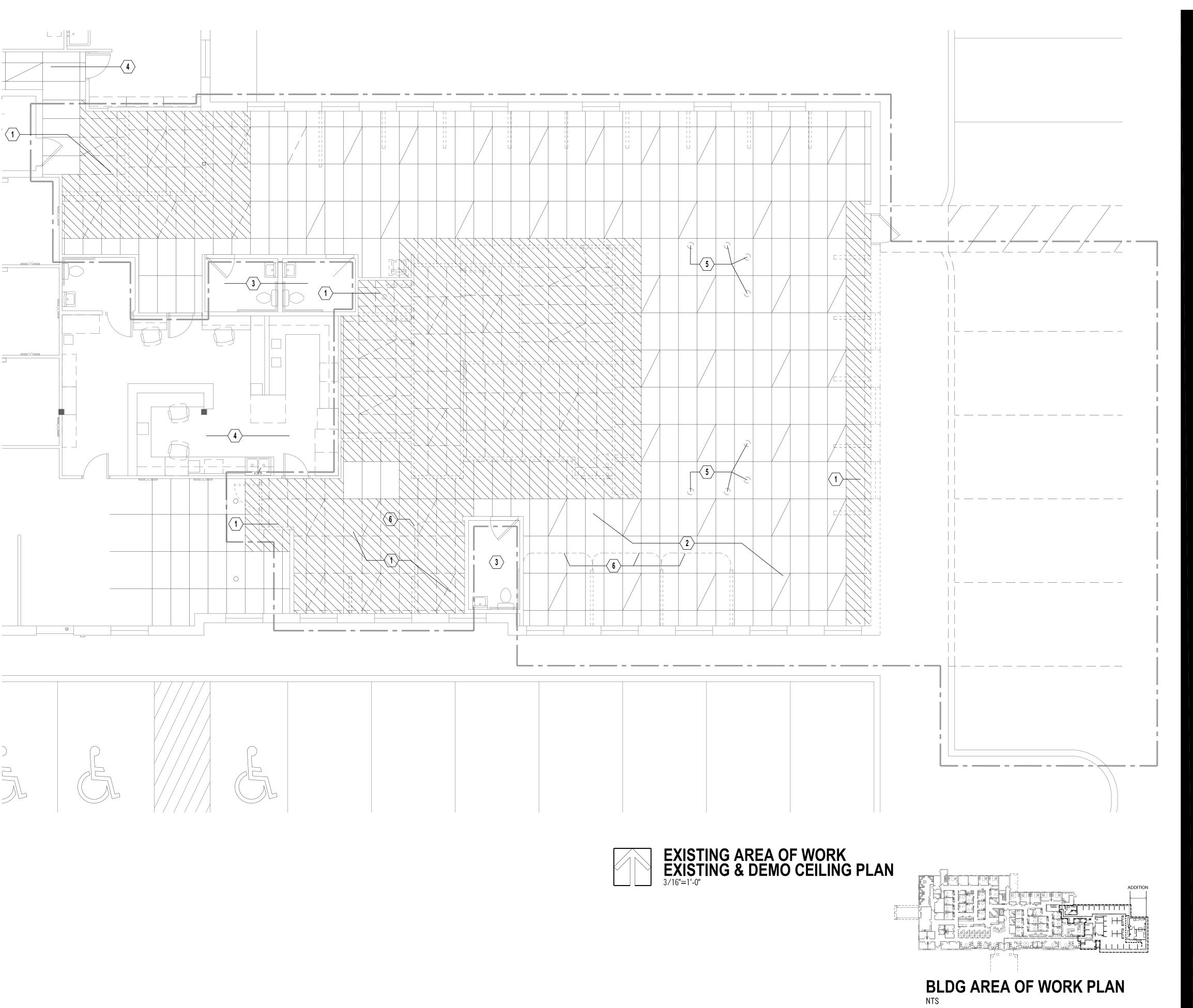
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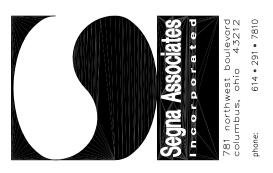
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A2.2

○CODED NOTES-DEMO EXSTG CLG PLN

- 1. HATCH AREA DENOTES APPROX AREA OF CEILING WORK. WORK INCLUDES REMOVAL OF TILE, GRID, LIGHT FIXTURES, EXIT SIGNS, EMER. LIGHTING FIXTURE AND OTHER ITEMS. ALL ITEMS TO BE REMOVED TO BE REUSED IF IN GOOD CONDITION AND WORKING UNLESS NOTED OTHER WISE IN THE DOCUMENTS OF WORK. COORDINATE LOCATION AND RELOCATION OF SPRINKLER HEADS AND PIPING AS REQUIRED WITH THE NEW WORK
- EXISTING GRID WITH LAY IN CEILING TILE TO REMAIN EXCEPT FOR RELOCATION OF LIGHT FIXTURES OR TILE REPLACEMENT DO TO DAMAGE-TYP
- 3. EXISTING DRYWALL CEILINGS NO WORK.
- EXISTING GRID WITH LAY IN CEILING TILE NO WORK.
- REMOVE EXISTING PENDANT TYPE LIGHT FIXTURES.
- REMOVE EXISTING CEILING TRACK AND CURTAIN SYSTEM COMPLETELY. KEPP TRACK AND CURTAIN FOR REUSE.





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Project Status:
Planning
Programming
Schematic Design
Design Development

Sheet Reference:

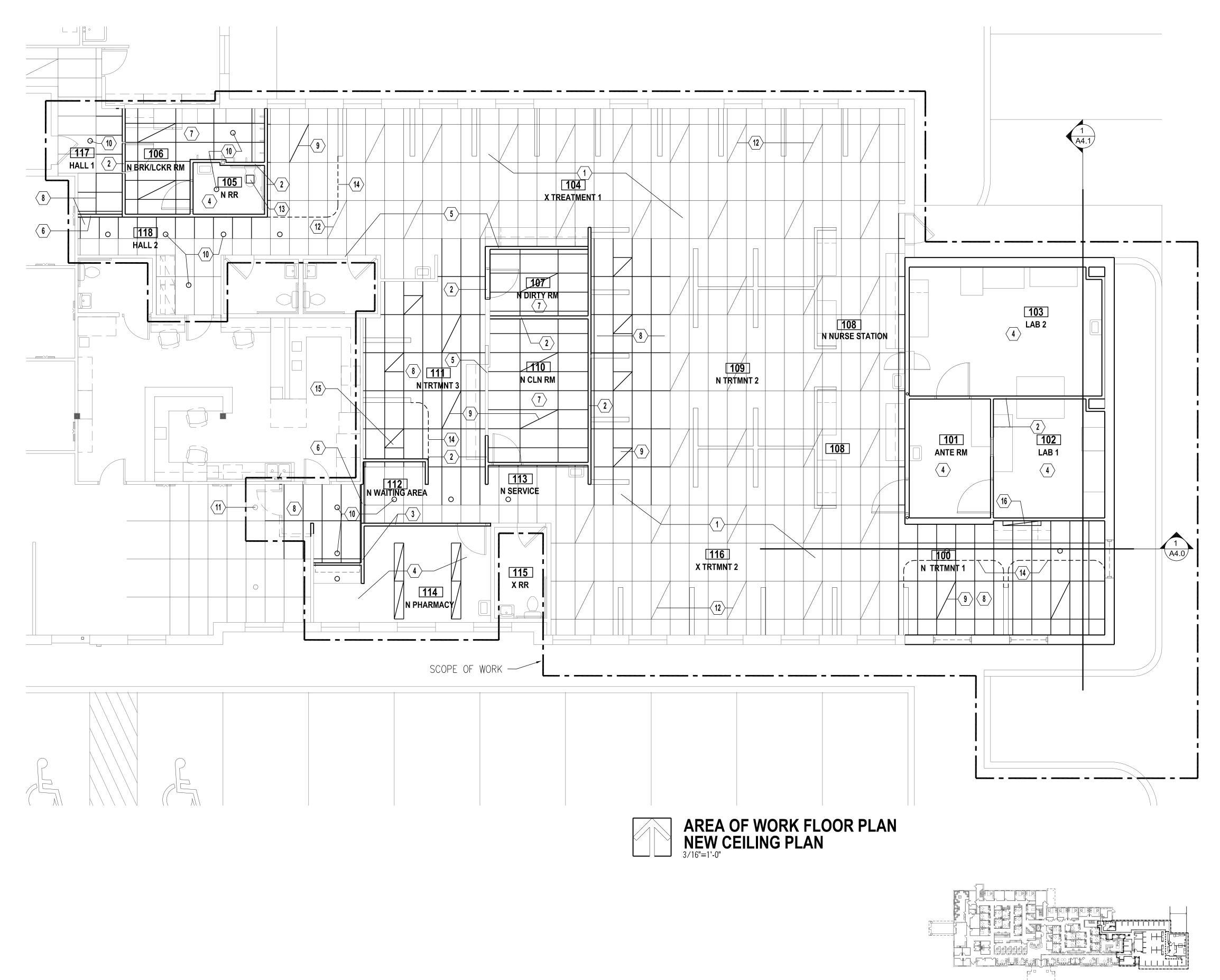
A2.3

CODED NOTES-NEW CLG PLN

- 1. EXISTING GRID WITH LAY IN CEILING TILE AT 8'
 AFF TO REMAIN EXCEPT FOR DAMAGED TILE AS
 DETERMINED BY OWNER-FIELD VERIFY TILES TO
 BE REPLACED. SOME LIGHT FIXTURES AREA TO
 BE RELOCATED.
- 2. NEW WALLS ABOVE EXISTING CEILING/GRID SYSTEM-TYP. BRACE TO EXISTING STRUCTURE.
- NEW WALLS TO 8'-4" AFF AROUND PHARMACY-TYP.
- 4. NEW SUSPENDED DRYWALL CEILING AT 8' AFF.
- 5. EXISTING WALLS ABOVE EXISTING CEILING/GRID SYSTEM-TYP.
- 6. NEW DRYWALL WALL HEADER WITH BOT AT 7'-6" AFF AND TOP ABOVE EXISTING CEILING SYSTEM.
- 7. NEW GRID LAY IN CEILING TILE SYSTEM TO MATCH EXISTING AT 8' AFF.
- 8. NEW GRID LAY IN CEILING TILE SYSTEM EXTENDED FROM EXISTING SYSTEM TO MATCH EXISTING AT 8' AFF.
- 9. NEW OR RELOCATED 2X4 LIGHT FIXTURE-TYP.
- 10. NEW CAN TYPE LIGHT FIXTURE-TYP.
- 11. EXISTING CAN LIGHT FIXTURE TO REMAIN-TYP.
- 12. EXISTING 2X4 LIGHT FIXTURE TO REMAIN-TYP.
- 13. NEW CEILING FAN.
- 14. NEW OR REUSED CEILING TRACK WITH CURTAIN-TYP.
- 15. NEW 2X2 LIGHT FIXTURE-TYP.
- 16. NEW UNDER CABINET LIGHT FIXTURE AT NURSE STATION.

GENERAL NOTES REFLECTED CEILING

- VERIFY ALL FIELD CONDITIONS BEFORE
 COMMENCING WORK. ALL DISCREPANCIES TO BE
 RESOLVED BEFORE STARTING.
- PROVIDE WIRE SUPPORT HANGERS AT ALL LIGHT FIXTURES AND OTHER SUCH ITEMS THAT MAY CAUSE GRID SAG.
- 3. SEE ARCHITECTURAL, PLBG, HVAC, ELECTRICAL, SPRINKLER AND OTHER DRAWINGS FOR REQUIREMENTS AND COORDINATION OF DISCIPLINES/TRADES.
- 4. SOME GRIDS SHOWN ARE EXISTING AND TO REMAIN. TRADES TO COORDINATE WORK WITH EXISTING LIGHTS, SPRINKLER HEADS, DETECTORS, ETC WITH THE NEW WORK.
- 5. NEW WALLS TO BE CONSTRUCTED TO FACE OF EXISTING GRID OR ABOVE EXISTING/NEW GRID, SEE NOTES ON DRAWING.
- 6. INSTALL ALL SYSTEMS PER MANUFACTURER RECOMMENDATIONS FOR ALL NEW/EXISTING GRID AND SUSPENDED DRYWALL SYSTEM. INSTALL SO PLANES ARE LEVEL AND SQUARE AND/OR BLEND WITH EXISTING.
- 7. CONTRACTOR TO REPLACE DAMAGED TILE AND OR GRID DUE TO NEW OR DEMO WORK AND REPLACE OTHER DAMAGED TILE AS DESIGNATED BY OWNER.
- 8. GRID AND LAY IN TILE FOR NEW WORK TO MATCH EXISTING GRID AND TILE SYSTEM.
- 9. DRYWALL SUSPENDED CEILING FOR NEW WORK TO HAVE 5%" DRYWALL WITH METAL SUPPORT SYSTEM AS RECOMMEMDED BY SELECTED MAUNFACTURER.
- 10. CURTAIN AND TRACK UNITS FOR TREATMENT STATIONS THAT EXIST ARE TO BE REMOVED AND REUSED IF IN ACCEPTABLE CONDITION AS APPROVED BY OWNER. PROVIDE TRACK SUPPORT ABOVE CEILING TO SECURE TRACK TO. OWNER TO PROVIDE NEW TRACK AND CURTAINS SHOULD THE EXISTING ARE NOT ACCEPTABLE.





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■ Date:

Project Status:
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Programming
Schematic Design
Design Development
CD Progress

Sheet Reference:

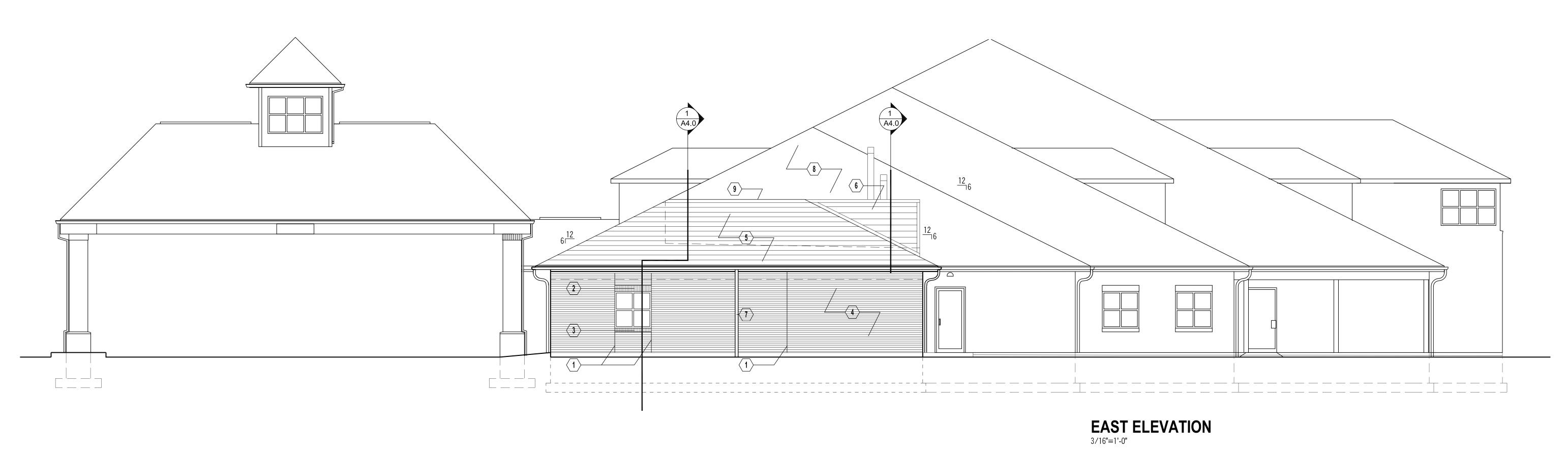
A2.4

BLDG AREA OF WORK PLAN





Sheet Reference:



CODED NOTES-EXT ELEVATIONS

CONTROL JOINT-FILL WITH FOAM BACKER ROD AND SEALANT-TYP

2. SOLDIER COURSE ABOVE WINDOW-MATCH EXISTING-TYP.

3. ROWLOCK COURSE SILL MATCH EXISTING-TYP.

4. NEW BRICK VENEER TO MATCH EXISTING WITH SAME PATTERN (RUNNING BOND) TYP.

NEW ASPHALT SHINGLES TO MATCH EXISTING-TYP.

6. NEW SCREEN WALL FACED WITH BORAL SIDING AND TRIM TO MATCH EXISTING SIDING ON EXISTING DORMERS-TYP. PAINT TO MATCH EXISTING SIDING.

7. NEW MTL DS PAINT TO MATCH EXISTING-TYP.

8. EXISTING SHINGLE ROOF-TYP.

9. EXISTING BRICK VENEER.

11. EXISTING MTL DS.

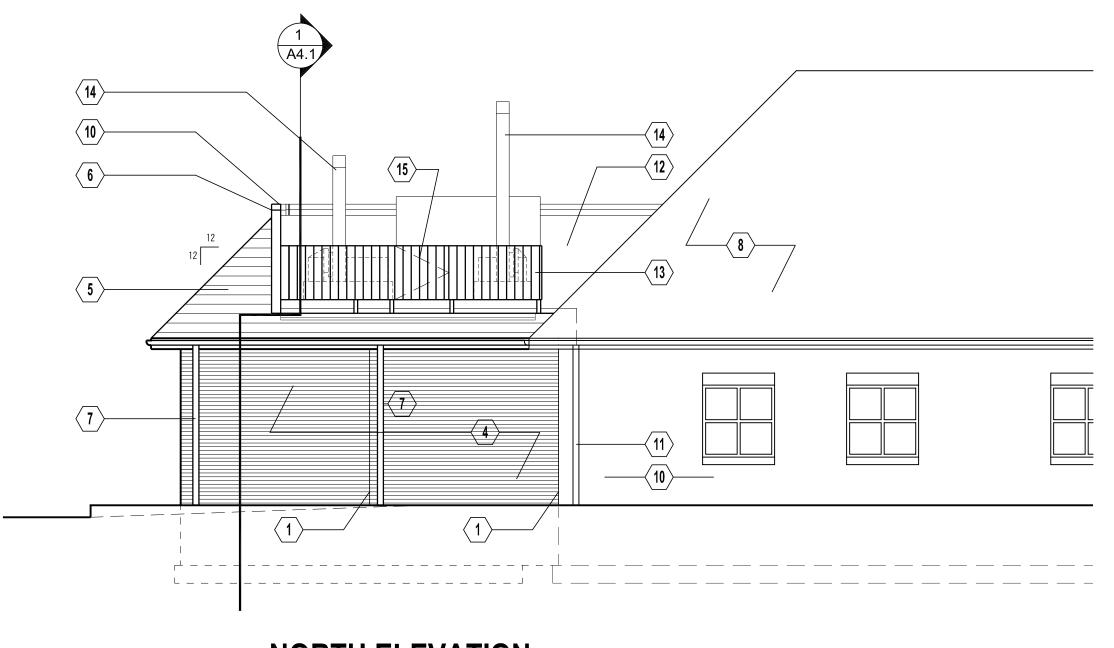
10. NEW METAL CAP FLASHING-TYP.

12. NEW EPDM VERTICAL SURFACE BEYOND.

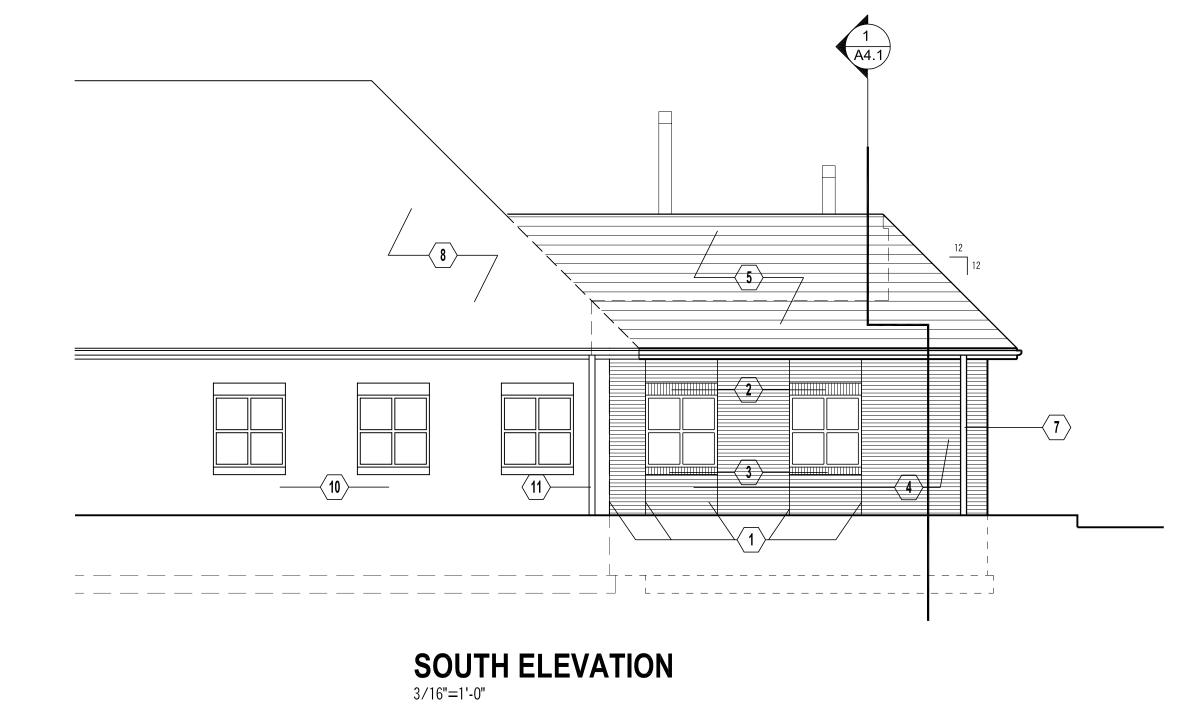
13. SCREEN & FALL PROTECTION STRUCTURE. PAINT TO MATCH EXISTING AND NEW SIDING-TYP.

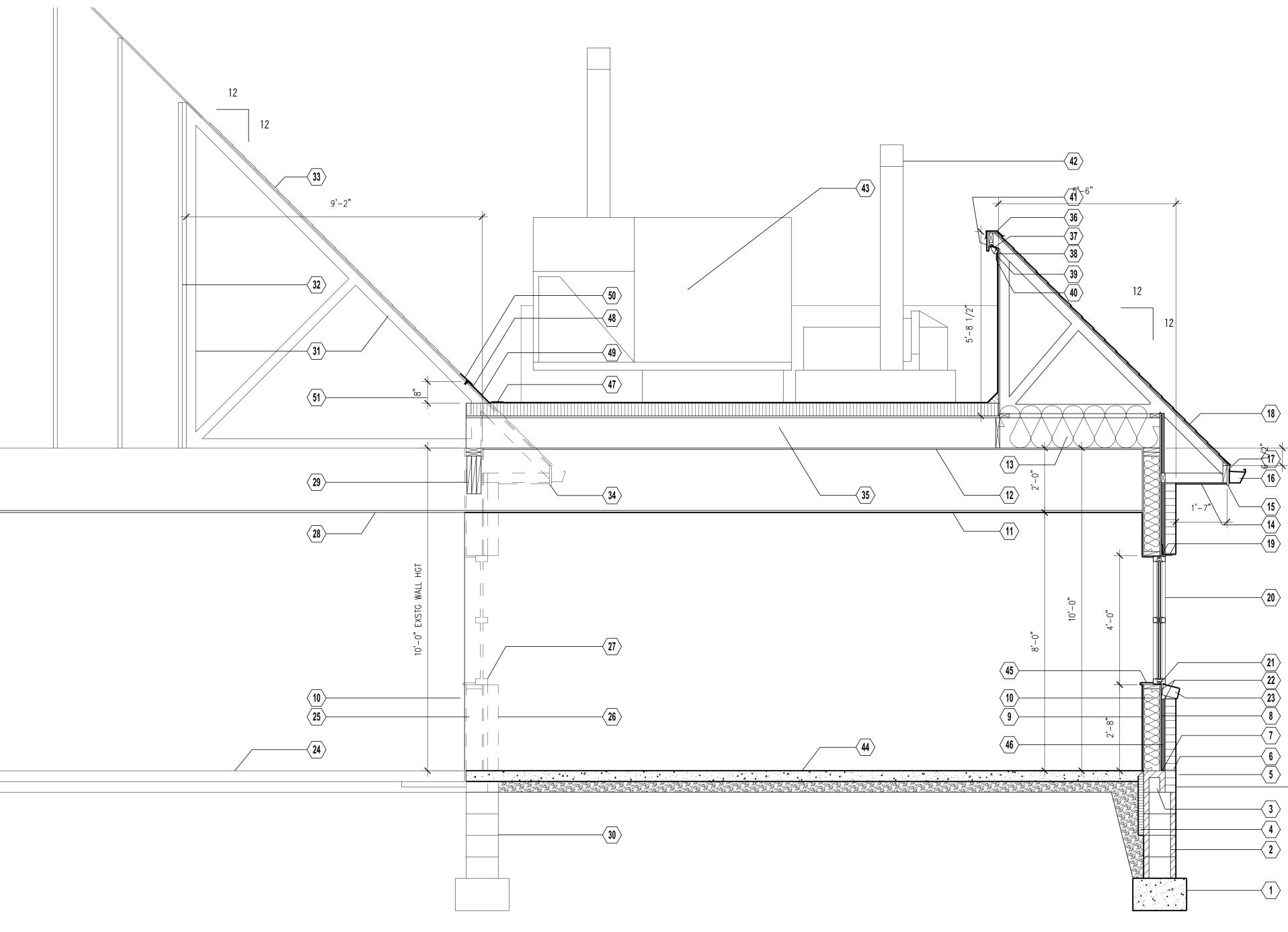
14. EXHAUST FAN DUCT FLUE-TYP.

15. SWINGING ACCESS PANEL IN SCREEN & FALL PROTECTION STRUCTURE. SEE GATE DETAILS 2 & 3 SHEET A3.0. 1X6 BORAL BRDS VERTICAL SPACE 1/4" APART-TYP.



NORTH ELEVATION
3/16"=1'-0"





○CODED NOTES-SECTION

- FOUNDATION AND FOOTING SEE STRUCTURAL DRAWINGS-TYP.
- 2. 12" CONC BLOCK FOUNDATION WALL SEE STRUCTURAL DRAWINGS-TYP.
- 3. 8" CONC BLOCK TOP SEE STRUCTURAL

DRAWINGS-TYP.

- 4. 2" THICK R10 PERIMETER RIGID FOAM INSULATION 24" VERTICAL WITH 45 DEGREE CUT EDGE AT
- 5. 1/4" THRU BRICK WALL WEEPS AT 24 " ON CC
- 6. THROUGH WALL CONT. FLEXIBLE FLASHING 8" MIN VERT ON WALL-TYP.
- 7. 4" BRICK VENEER WITH MIN 1" AIR SPACE BEHIND-TYP. SECURE BRICK TO WALL WITH GALVANIZED VENEER & BASE ADJUSTABLE UNITS SECURED TO MTL STUDS WITH GALVANIZED OR SS FASTNERS. ANCHORS TO BE SPACED 18" VERTICALLY AND 32" HORIZONTALLY-TYP.
- 8. WRP WRAP (POLYETHLENE) APPLIED TO SHEATHING, SEAL ALL JOINTS AND FLASH AT OPENINGS-TYP.
- 9. $\frac{5}{8}$ " DRYWALL OVER VAPOR BARRIER APPLIED TO MĔTAL STUDS AT 16" OC-TYP.
- 10. 6" WALL INSULATION R21-TYP.
- 11. NEW MTL GRID WITH ACOUSTIC LAY-IN TILE SYSTEM-TYP.
- 12. $\frac{5}{8}$ " DRYWALL TO WOOD ROOF FRAMING MEMBERS TYP
- 13. 14" THICK BATT VAPOR BARRIER FACED INSUALTION R49 MIN-TYP W/ VAPOR BARRIER TO

- TRIM TO MATCH EXISTING-TYP.
- 15. 1X BORAL TYPE TRIM BRD TO MATCH EXISTING TRIM PROFILE. PAINT TO MATCH EXISTING
- MEW METAL GUTTER TO MATCH EXISTING IN PROFILE AND SIZE PAINT TO MATCH EXISTING-TYP.
- 17. METAL DRIP EDGE CONT.-TYP.
- 18. NEW ASPHALT SHINGLES OVER CONT UNDERLAYMENT OVER WOOD DECKING. SHINGLES TO MATCH EXISTING IN STYLE, COLOR AND PATTERN-TYP.
- 19. SOLDIER BRICK COURSE OVER WINDOW TO MATCH EXISTING-TYP. PROVIDE THRU WALL FLEIXBLE FLASHING WITH 3/8" WEEPS AT 16" OC.
- 20. ALUMN STORFRONT WINDOW SYSTEM WITH INSULATED GLAZING.
- 21. WINDOW SILL PAN FULL WIDTH OPENING.
- 22. FLEXIBLE WALL FLASHING BELOW SILL PAN BELOW ROWLOCK THRU WALL-TYP. PROVIDE 3/6' WEEPS AT 15" OC.
- 23. BRICK ROW LOCK SILL TO MATCH EXISTING-TYP.
- 24. EXISTING 4" CONC SLAB OVER GRAVEL BASE.
- 25. EXISTING DRYWALL FACED METAL STUD WALL TO BE REMOVED TYP.
- 26. EXISTING BRICK VENEER TO BE REMOVED-TYP. 27. EXISTING ALUM WINDOW UNIT TO BE REMOVED.

- 14. PERFORATED VINYL SOFFIT PANEL WITH EDGE 28. EXISTING MTL GRID AND LAY-IN TILE SYSTEM TO 43. NEW ROOFTOP HVAC UNIT. REMAIN.
 - 29. NEW BEAM SEE STRUCTURAL DRAWINGS.
 - 30. EXISTING 12" BLOCK FOUNDATION WALL-TYP.
 - 31. EXISTING WOOD JACK TRUSS-TYP.
 - 32. EXITING WOOD GIRDER TRUSS.
 - 33. EXISTING ASPHALT SHINGLES OVER ½" WOOD SHEATHING-TYP.
 - 34. REMOVE EXISTING COMPONENTS OF EXISTING OVERHANG TO ACCOMMODATE INSTALL NEW ROOF FRAMING SYSTEM-TYP.
 - 35. NEW ROOF FRAMING SEE STRUCTURAL DRAWINGS.
 - 36. MTL CAP FLASHING WITH SNAP GRIPS ON BOTH SHINGLE & VERTICAL SURFACE. PROVIDE SEALANT AT SHINGLE SIDE CONT-TYP.
 - 37. 2" WIDE ALUM VENT UNIT CONT-TYP.
 - 38. 1X BORAL TRIM PAINTED TO MATCH EXISTING TRIM-TYP.
 - 39. TERMINATION BAR AT TOP EDGE OF EPDM MEMBRANE CONT TYP
 - 40. MTL COUNTER FLASHING OVER TERMINATION

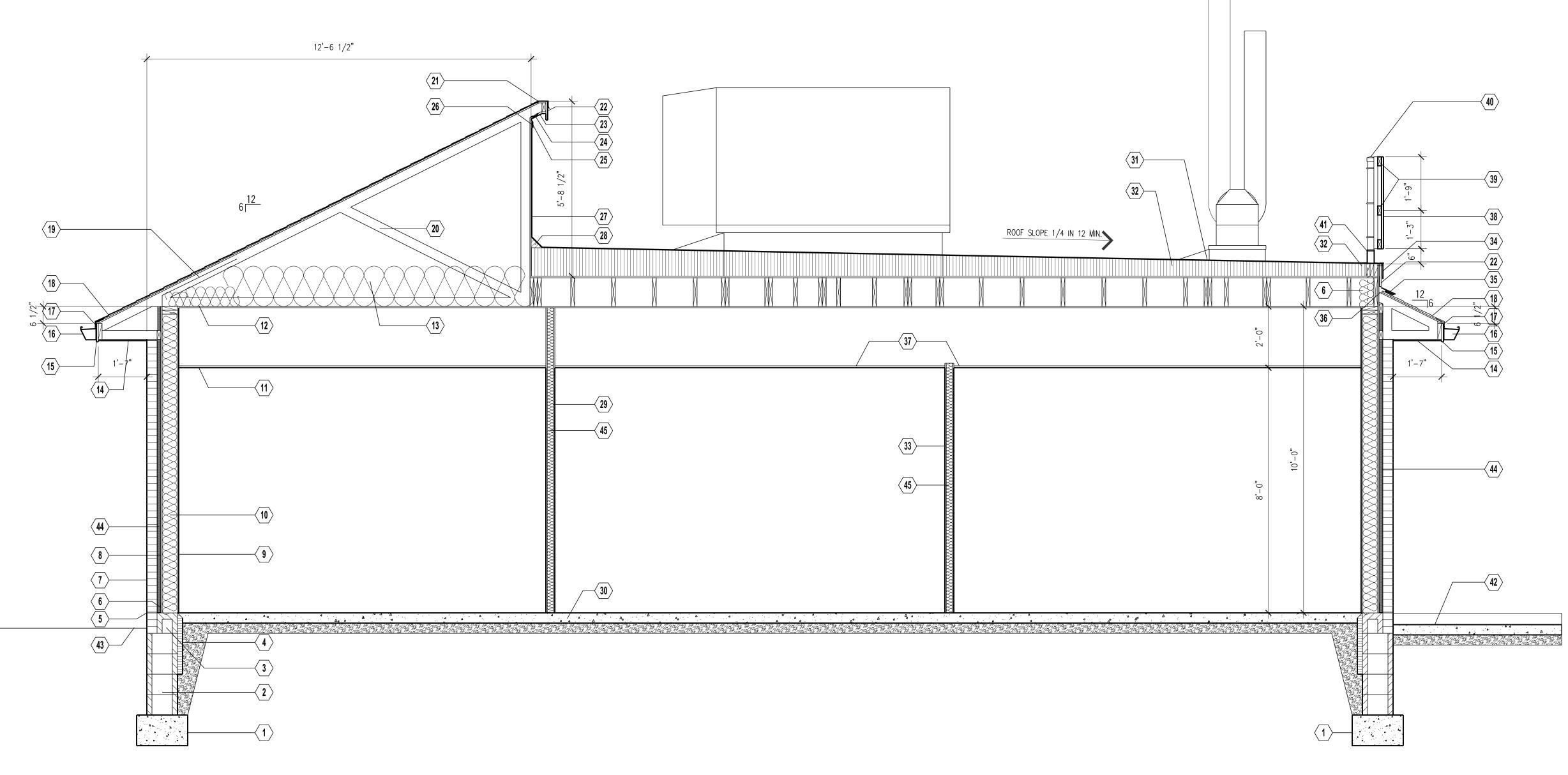
OF 2 UNITS.

41. 1X8 BORAL TRIM PAINTED TO MATCH EXISTING TRIM CONT-TYP. 42. EXHAUST FAN UNIT WITH VERTICAL STACK-TYP

- 44. 4" CONC. SLAB OVER 10 MIL VB OVER 4" GRAVEL BASE=SEE FOUDATION PLAN.
- 45. WINDOW SILL ½" THICK CORIAN S-1 COLOR/FINISH SEE FINISH SCHEDULE AND PLAN-TYP.
- 46. 1" THICK EXTRUDED POLYSTYRENE INSULATION BRD R5-TYP.
- 47. REINFORCED PERIMETER FASTENING STRIP FASTEN TO DECK PER MANUFACTURER'S RECOMMENDATION. 48. 4" WIDE MIN MTL CONT. COUNTER FLASHING WITH
- WATER BLOCK OVER EDGE OF MEMBRANE SECURED TO ROOF DECK PER MANUFACTURER'S RECOMMENDATION.
- 49. MEMBRANE SECURED TO ROOF DECK PER MANUFACTURER'S RECOMMENDATION.
- 50. SHINGLE OVER SHINGLE UNDERLAYMENT OVER TOP OF MTL FLASHING-TYP.
- 51. MIN DISTANCE ABOVE ROOF SURFACE-TYP.

1 BLDG EAST/WEST CROSS SECTION





CODED NOTES-SECTION

1. FOUNDATION AND FOOTING SEE STRUCTURAL DRAWINGS-TYP.

- 2. 12" CONC BLOCK FOUNDATION WALL SEE STRUCTURAL DRAWINGS-TYP.
- 3. 8" CONC BLOCK TOP SEE STRUCTURAL DRAWINGS-TYP.
- 4. 2" THICK R10 PERIMETER RIGID FOAM INSULATION 24" VERTICAL WITH 45 DEGREE CUT EDGE AT SLAB-TYP.
- 5. ¼" THRU BRICK WALL WEEPS AT 24 " ON CC HORIZ TYP.
- 6. THROUGH WALL CONT. FLEXIBLE FLASHING 8" MIN VERT ON WALL-TYP.
- 7. 4" BRICK VENEER WITH MIN 1" AIR SPACE BEHIND-TYP. SECURE BRICK TO WALL WITH GALVANIZED VENEER & BASE ADJUSTABLE UNITS SECURED TO MTL STUDS WITH GALVANIZED OR SS FASTNERS. ANCHORS TO BE SPACED 18" VERTICALLY AND 32" HORIZONTALLY-TYP.
- 8. WRP WRAP (POLYETHLENE) APPLIED TO SHEATHING, SEAL ALL JOINTS AND FLASH AT OPENINGS-TYP.
- 9. 5/8" DRYWALL OVER VAPOR BARRIER APPLIED TO 25. MTL COUNTER FLASHING OVER TERMINATION METAL STUDS AT 16" OC-TYP. BAR-TYP.
- 10. 6" WALL INSULATION R21-TYP.
- 11. NEW MTL GRID WITH ACOUSTIC LAY-IN TILE
- SYSTEM-TYP.
- 12. 5/8" DRYWALL TO WOOD ROOF FRAMING MEMBERS-TYP. 13. 14" THICK BATT VAPOR BARRIER FACED
- 14. PERFORATED VINYL SOFFIT PANEL WITH EDGE TRIM TO MATCH EXISTING-TYP.

INSUALTION R49 MIN-TYP W/ VAPOR BARRIER TO

15. 1X BORAL TYPE TRIM BRD TO MATCH EXISTING TRIM PROFILE. PAINT TO MATCH EXISTING TRIM-TYP.

- 16. MEW METAL GUTTER TO MATCH EXISTING IN PROFILE AND SIZE PAINT TO MATCH EXISTING-TYP.
- 17. METAL DRIP EDGE CONT.-TYP.
- 18. NEW ASPHALT SHINGLES OVER CONT UNDERLAYMENT OVER WOOD DECKING. SHINGLES TO MATCH EXISTING IN STYLE, COLOR
- AND PATTERN-TYP. 19. ATTIC VENT BAFFLE FLAME RESISTANT PVC FOR
- 24" OC FRAMING BASED ON ACCUVENT PRODUCT OR PROVIDE COMPARABLE. DRIP EDGE.
- 20. PRE-FABRICATED WOOD ROOF TRUSS, SEE STRUCTURAL DRAWINGS. 21. MTL CAP FLASHING WITH SNAP GRIPS ON BOTH
- SHINGLE & VERTICAL SURFACE. PROVIDE SEALANT AT SHINGLE SIDE CONT-TYP. 22. 1X8 BORAL TRIM PAINTED TO MATCH EXISTING
- TRIM CONT TYP.
- 23. 1X BORAL TRIM PAINTED TO MATCH EXISTING TRIM TYP.
- 24. 2" WIDE ALUM VENT UNIT CONT-TYP.
- 26. TERMINATION BAR AT TOP EDGE OF EPDM
- MEMBRANE CONT-TYP. 27. EPDM MEMBRANE/FLASHING OVER $\frac{5}{8}$ " SHEATHING ON VERTICAL FACE CONT-TYP.
- 28. 4" CANT AT VERT AND HORIZ INTERSECTION-TYP.
- 29. $3\frac{5}{8}$ " WIDE MTL STUD WALL @ 16" OC WITH $\frac{5}{9}$ " DRYWALL BOTH SIDES. RUN WALL FULL HEIGHT AND PROVIDE FLEX CAP AT TOP-TYP.
- 30. CONCRETE FLOOR SLAB OVER 6 MIL VB OVER 4" GRAVEL BASE SEE STRUCTURAL DRAWINGS.

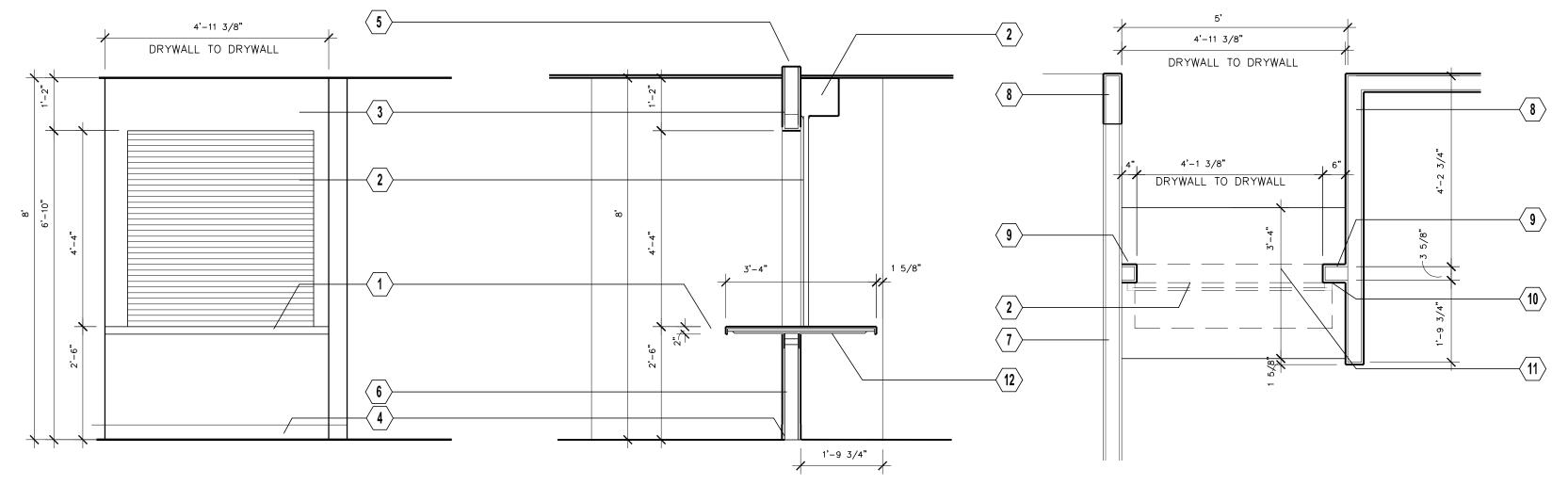
- 31. 60 MIL FULLY ADHERED EPDM MEMBRANE ROOF SYSTEM (CLASS C RATING MIN)-TYP.
- 32. R26 MIN POLYISOCYANURATE INSULATION (4.5" MIN THICKNESS AT LOW END). PROVIDE SLOPED INSULATION ABOVE THE 4.5" LEVEL.
- 33. $3\frac{5}{8}$ " WIDE MTL STUD WALL @ 16" OC WITH 5/8" DRYWALL BOTH SIDES. RUN WALL TO 2" ABOVE LAY-IN CEILING SYSTEM-TYP. BRACE WALL TO STRUCTURE ABOVE EVERY 5' OF LENGTH.
- 34. 6" HIGH METAL-ERA PREFINISHED ANCHORGARD
- 35. COR-A-VENT ROOF TO WALL VENT UNIT CONT. METAL FLASHING WITH ASPHALT SHINGLE CAP & ENHANCED SNOW SCREEN OR COMPARABLE
- 36. PROVIDE 1" MIN SLOT AT VENT LOCATION-TYP.
- 37. SUSPENDED DRYWALL CEILING SYSTEM-TYP.
- 38. 1X6 BORAL BRD (VERT) SECURED TO WOOD RAILS-TYP. PAINT TO MATCH SIDING/TRIM.
- 39. 2X4 TREATED WOOD HORIZ RAIL SECURED TO 2X6 AT POST WITH $2-\frac{3}{8}$ " GALVANIZED LAG BOLTS AT EACH END-TYP. 2X6 TREATED WOOD SECURED TO METAL POST WITH 3- 3/8" DIAMETER GALVANIZED "U" BOLTS-TYP.
- 40. 2½" DIAMETER GALVANIZED STEEL POST, WITH CAP SEALED TO TOP, THRU ROOF SECURE TO WOOD FRAME AND BLOCK IN PLACE-TYP.
- 41. PROVIDE EPDM RUBBER FLASHING BOOT AROUND STL POST AND CLAMP WITH ADJUSTABLE CLAMP AT TOP TO PROVIDE WATERTIGHT SEAL-TYP AT EACH POST.
- 42. NEW CONC. WALK ALONG SIDE OF BLDG.
- 43. GRADE.
- 44. 1" THICK EXTRUDED POLYSTYRENE INSULATION BRD R5-TYP
- 45. 3½" SOUND ATTENUATION FIBERGLAS BATT INSULATION FULL WIDTH & HEIGHT OF WALL-TYP.

1 BLDG NORTH/SOUTH CROSS SECTION

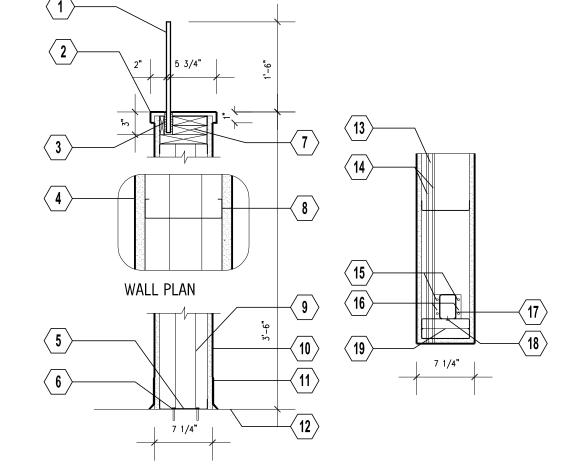


CODED NOTES-PHARMACY COUNTER

- 1. SOLID SURFACE COUNTER BASED ON CORIAN OVER 3/4" PLYWOOD SUBSTRATE. 2" HIGH FACE EDGE TYP
- 2. ROLLING SHUTTER UNIT BASED ON COOKSON ESC10 MODEL ALUMINUM SLATS, FRAME AND
- 3. DRYWALL FACE AROUND SHUTTER-TYP.
- 4. SCHEDULED BASE-TYP.
- 5. CONSTRUCT METAL STUD WALL TO 4" ABOVE 8' CEILING HEIGHT WITH 5/8" DRYWALL BOTH SIDES TYP FOR NEW WALLS AROUND PAHRMACY.
- 6. 3 %" METAL STUD SUPPORT WALL BELOW COUNTER WITH DRYWALL BOTH SIDESTYP.
- 7. EXISTING WALL.
- 8. NEW METAL STUD WALL.
- 9. NEW METAL STUD WITH 5/8" DRYWALL STUB.
- 10. ROLLING SHUTTER OPRATION CRANK THIS SIDE.
- COUNTER WIDTH.
- 12. CENTER LEVERED BAR TYP SUPPORT BRACKET BASED ON CENTERLINE, LLC BRACKET THAT IS 2.5"W X $\frac{1}{2}$ " T X 40" LONG TOP BAR WITH $\frac{1}{4}$ " T X 2.5" W X 4" L VERTICAL PLATES.



COUNTER FRONT ELEVATION COUNTER SECTION COUNTER PLAN



VERTICAL WALL SECTION

PARTIAL HGT WALL DETAIL

10

PROVIDE BRACING OF METAL FRAMING AS REQUIRED BY INDUSTRY STANDARDS

○CODED NOTES-PARTIAL HEIGHT WALL

- 1. TEMPERED GLASS (G-1).
- 2. SOLID SURFACE 1/2" TOP WITH PENCIL EDG.
- 3. VINYL CHANNEL, WITH GLASS SHIM AND SILICONE SEALANT AS REQUIRED FOR STABILITY.
- 4. 1 LAYER 5/8" DRYWALL-FIRE RATED.
- 5. 3"LX3"HX¾"W¼" THICK MTL PLATE AT FLR.
- 6. ¼" X1 ½" L CONC. FASTNERS.
- 7. WOOD BLOCKING AS REQUIRED TO SUPPORT GLASS AND TOP-SECURE TO TOP PLATE OF MTL STUD WALL.
- 8. 6" 20 GAUGE MTL STUDS AT 16" OC TYP.
- 9. 2"X3"X1/4"THICK MTL POST WITH CONTINUOS WELD TO PLATE.
- 10. WALL COVERING (VWC-1) BOTH SIDES-TYP.
- 11. BASE PER SCHEDULE BOTH SIDES-TYP. 12. FINISH FLR.
- GLASS LOCATION.
- 14. VINYL CHANNEL LOCATION.
- 15. 4-1/4" X1 1/2" L CONC. FASTNERS.
- END WALL PLAN 16. 3"LX3"HX¾"WX¼"THICK MTL PLATE.
 - 17. 2"X3"MTL POST CONTINUOS WELD TO MTL PLATE TOP AND BOT.
 - 18. SCREW 6" MTL STUD TO POST WITH SELFASTNER SCREWS AT 6" OC.
 - 19. DOUBLE 6" 20 GAUGE MTL STUD AT WALL END.

○CODED NOTES-NURSE & OTHER UNIT ELEV 1. PROVIDE SHELF 21" DEEP-SIZE TO BE VERIFIED. 2. 4" HIGH BACK AND/OR SIDE SPLASH-TYP.

4. PROVIDE SCRIBED FILLER STRIPS AT WALL WHERE REQUIRED FOR CLOSURE TO MATCH 6. CUSTOM BASE CAB (BFF) BOTTOM FILE DRAWER

WITH LOCK-KEY ALIKE WITH OTHER LOCK UNITS. 7. PROVIDE MTL SUPPORT BRACKET AT END AND NO MORE THAN 36" APART ALONG LENGTH OF COUNTER-TYP.

3. COUNTERTOP WITH 1 ½' FACE-TYP.

CABINET.

5. RECESSED BASE TYP.

- 8. UPPER CAB WITH LOCKS ON EACH DOOR KEY ALIKE WITH OTHER LOCK UNITS-TYP.
- 9. PROVIDE 1 GROMMET IN COUNTERTOP FOR WIRING-TYP.
- 10. PROVIDE 2-2" DIS PLASTIC GROMMETS IN COUNTERTOP FOR WIRING-TYP.
- 11. BASE PER SCHEDULE-TYP.
- 12. REDUCE UPPER DRAWER(S) DEPTHS EQUALLY TO ACCOMMODATE COUNTER HEIGHT.

STAINLESS STEEL FRAME BY BOBRICK OR

2. PROVIDE WALL MOUNTED 1-1/2" DIA. STAINLESS STEEL KNURLED GRAB BARS WITH ESCHEUTCHONS, CONSULT THE MOUNTING CLEARANCE LEGEND SHT. A5.1 FOR GRAB BAR LENGTHS AND LOCATIONS. PROVIDE SOLID

3. PROVIDE ADA CONFORMING FORM FITTING FOAM DRAIN INSULATION KIT FOR UNDER SINK PIPING.

4. SEE PLUMBING FIXTURE SCHEDULE FOR COMMODE, SINK AND/OR FAUCET ITEMS-TYP.

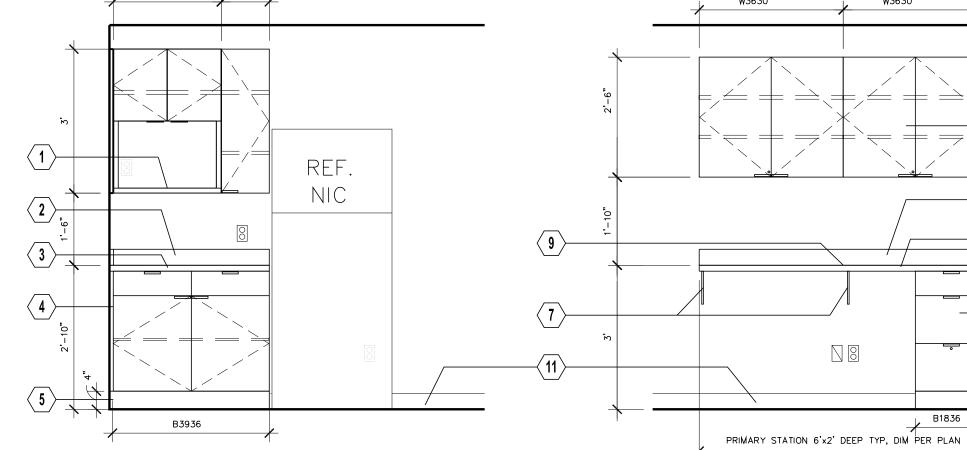
6. WALL AND BASE TILE TO 4' AFF ON ALL WALLS-SEE FINISH SCHEDULE.

7. LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.

BLOCKING AT ALL LOCATIONS.

5. OFF SET IN WALL PLANE.

COMPARABLE.



BREAK RM CABINET

PHARMACY COUNTER

MCW2736

PROVIDE WALL BLOCKING AS REQUIRED IN WALLS FOR MOUNTING OF COMPONENTS-TYP. FINISHES FOR COMPONENTS BELOW AND AS IDENTIFIED ON ROOM FINISH SCHEDULE. COUNTERTOP PL-2 BACKSPALSH PL-2 WALL PT-1,2 OR 3

ALTERNATE STATION 4'-9"X2' DEEP TYP, DIM PER PLAN **NURSE STATION-SINGLE** 1/2"=1'-0"

PROVIDE WALL BLOCKING AS REQUIRED IN WALLS FOR MOUNTING OF COMPONENTS-TYP. STATIONS WITH FULL HGT WALLS TO HAVE OVERHEAD CABINETS. STATIONS WITH PARTIAL HGT WALLS DO NOT HAVE OVERHEAD CABINETS. FINISHES FOR COMPONENTS BELOW AND AS IDENTIFIED ON ROOM FINISH SCHEDULE. CABINETS PL-1 COUNTERTOP PL-2 BACKSPALSH PL-2 WALL BASE PT-1,2 OR 3

NURSE STATION-DOUBLE

VB-1

B1836

BASE

PROVIDE WALL BLOCKING AS REQUIRED IN WALLS FOR MOUNTING OF COMPONENTS-TYP. FINISHES FOR COMPONENTS BELOW AND AS IDENTIFIED ON ROOM FINISH SCHEDULE. COUNTERTOP PL-2 BACKSPALSH PL-2

10'x2' DEEP TYP, DIM PER PLAN

WALL PT-1,2 OR 3

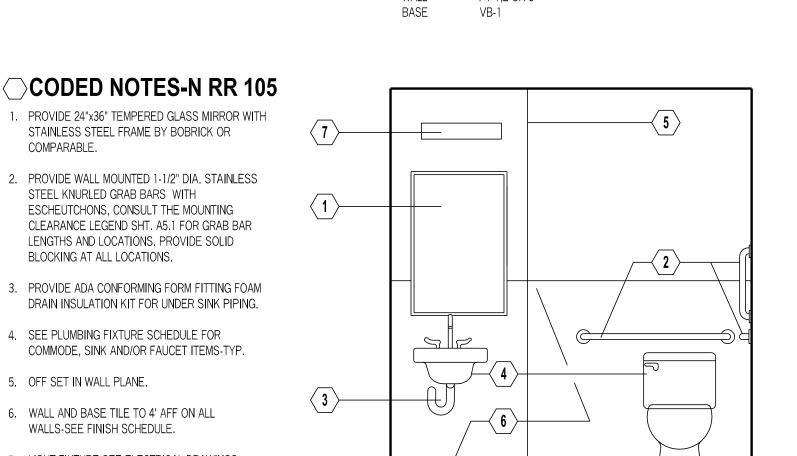
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VB-1

BASE

PROVIDE WALL BLOCKING AS REQUIRED IN WALLS FOR MOUNTING OF COMPONENTS-TYP. FINISHES FOR COMPONENTS BELOW AND AS IDENTIFIED ON ROOM FINISH SCHEDULE. CABINETS PL-1 COUNTERTOP PL-2 BACKSPALSH PL-2 WALL PT-1,2 OR 3



N RR ELEV.

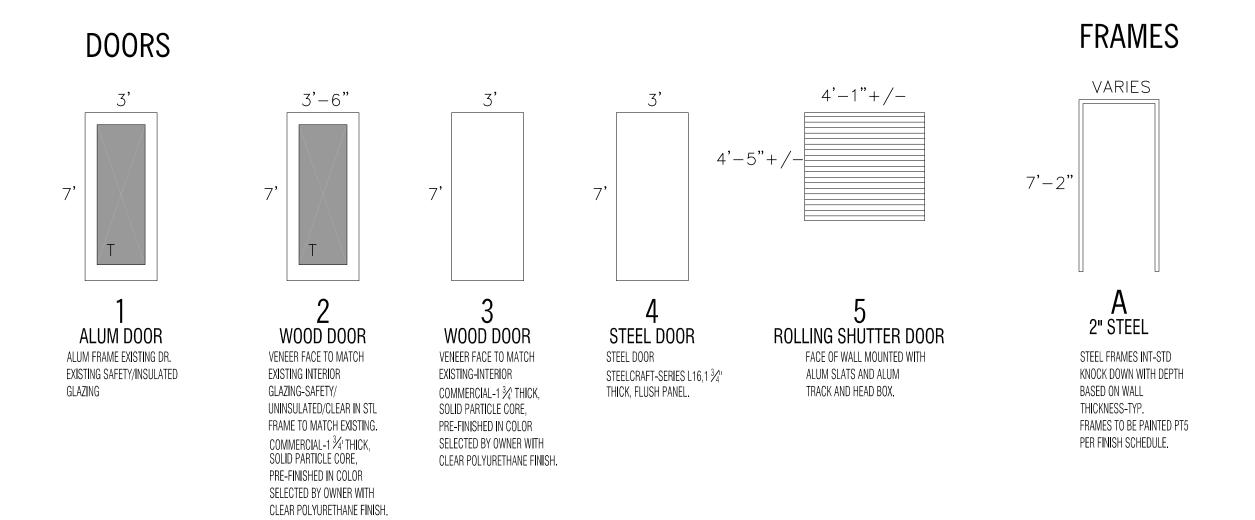
PROVIDE WALL BLOCKING AS REQUIRED IN WALLS FOR MOUNTING OF COMPONENTS-TYP. OWNER TO PROVIDE PAPER TOWEL, SOAP DISPENSER, TOILET PAPER HOLDER COORDINATE INSTALLATION WITH COMPONENTS TO BE PROVIDED. FINISHES FOR COMPONENTS BELOW AND AS IDENTIFIED ON ROOM FINISH SCHEDULE. WALL TILE TBD WALL PT-1 & PT-2 BASE TBD

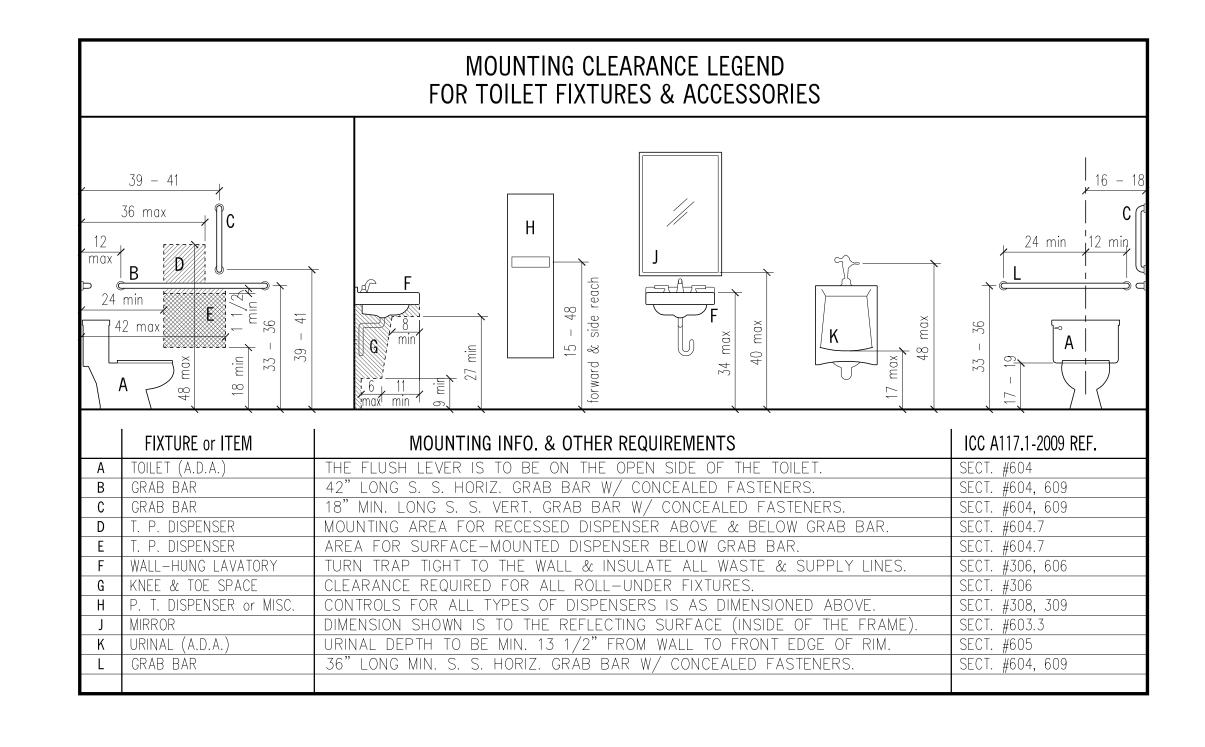


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NCOLOGY & Y INFUSION

DOOR	SIZE	D	F	R				ŀ	IARD	WAR	E					REMARKS
NUMBER	3070 = 3'-0" WIDE 7'-0" TALL 120100= 12'-0" WIDE 10'-0" TALL	O O R T Y P E	A M E T Y P	T I N G	R '	E U V S E H R P	S C I K	A S S A	R I V A C	N I C	L O S E R	T 0 P	E A T H E	I R S E A L	VISION GENOMEL	ABBREVIATIONS ASF ALLIMINUM STOREFRONT DOOR HCW HOLLOW-CORE WOOD DOOR SW SOLD WOOD DOOR MTL METAL DOOR FOS FIBERGLASS DOOR SS STAMLESS STEEL 304 GRADE SS FABRIC SPEED BY OWNER. AL ALLIMINUM WELDED METAL FRAME WM WELDED METAL FRAME WM WELDED METAL FRAME WW WELDED METAL FRAME WW WELDED METAL FRAME WM WELDED METAL FRAME HOW WELDED METAL FRAME PROWING EXIST SIRKE OPERATED BY WALL MOUNTED KEYPAD CONNECTED TO PROPERTY SECURITY SYSTEM. MATCH BLDG SYSTEM WE WELDED METAL FRAME PROWIDE ALL TRANSPORTED TO PROPERT OPERATED BY WALL MOUNTED WE WELDED METAL FRAME PROWING EXCENSION ON AND ADD METAL FRAME TO PROVIDE ALL TRANSPORTED TO MATCH AND ADD ADD ADD ADD ADD ADD ADD ADD ADD
101	3670	2	Α		•	•	0				0	С	-	0	0 (DR & FR UNIT SEE ELEVATION. SEE GEN NOTE1,3,9,10,12,10,15,18
102	3670	2	Α					0				С				DR & FR UNIT SEE ELEVATION. SEE GEN NOTE1,3,5,9,12,14,15
103	3670	2	Α			0	$oldsymbol{ol}}}}}}}}}}}}}}}}}}}}$	0				С			0 0	DR & FR UNIT SEE ELEVATION. SEE GEN NOTE1,3,5,9,12,14,15
104	3070 ALUM	1	Α								\circ	С				EXISTING ALUM DR & FR WITH PANIC HARDWARE/PULL BAR EXT-NO WORK. PROVIDE "EXIT" SIGNAGE W/ BRAILLE INSIDE TO SIDE OF DR ON INSIDE SEE GEN NOTE 11.
105	3070	3	Α		•	•			0			W				PROVIDE A.D.A. SIGNAGE "ACCESSIBLE TOILET" W/ BRAILLE AND SYMBOL. SEE GEN NOTE 1,3,13,16,17
106	3070	3	Α		•	0						С				SEE GEN NOTE 1,3,6,12,13,18
107	3070	3	Α			0						F				SEE GEN NOTE 1,3,12,13,16,19
110	3070	3	Α		•	•	0					W				SEE GEN NOTE 1,3,12,13,16,19
114A	3070	2	Α		•		0				0	W				SEE GEN NOTE 1,3,12.,13,16,18,20
	4145	5														ALUM GUIDES WITH MOTORIZED OPEN/CLOSE OPERATION.
114B		_	-		- 1	-	-	_	_	_				-	-	
114B 115	3070	3	Α			\supset			\bigcirc			W				EXISTING DR & FR NO WORK.







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Planning Programming Schematic Design Design Development CD Progress

Sheet Reference:

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		LVT-1	LVT-2	SV-1		VB-1	VB-2	EXIST	NORTH	SOUTH	EAST	WEST	ACT-1	CEIL	EXIS	CEIL	REMARKS
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101	ANTE RM									PT-1							110121
102	LAB 1								PT-1		PT-1						
103	LAB 2								PT-1	PT-1	PT-1	PT-1					
104	X TREATMENT 1		•						PT-1/ VWC-1	PT-2	PT-2	PT-2					NOTE 1
105	N RR						•		PT-1	PT-1	PT-1	PT-1					NOTE 2
106	N BRK/LCKR RM								PT-1	PT-1	PT-1	PT-1					
107	N DIRTY RM								PT-1	PT-1	PT-1	PT-1					
108	N NURSE STATION									VWC-1		DT 0/					NOTE 1
109	N TRTMNT 2									VWC-1	VWC-1	VWC-1					NOTE 1
110	N CLN RM									PT-1 PT-1/ VWC-1							NOTE 1
111	N TRTMNT 3 N WAITING AREA									VWC-1							NOTE 1
113	N SERVICE									PT-1							
114	N PHARMACY									PT-1							
115	X RR																
116	X TRTMNT 2									PT-1/ VWC-1	PT-1	PT-2					NOTE 1
117	HALL 1								1	PT-1							
118	HALL 2								PT-2	PT-1	PT-1	PT-1					
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120 NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI	J& J FLOORING GF PATCRAFT TBD JOHNSONITE TBD	ROUP	S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: -	MBER RAMEVO1 ELICK R	WORK		COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :-	OR 0125 I		9" RI - 1/8	x48", ESILIE B" GAI	J&J L ENT F UGE GOO	VT A	ζ , 7.28"	
120 NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI	J& J FLOORING GF PATCRAFT TBD JOHNSONITE TBD	ROUP	S N S N	TEM NUI STYLE: FIO.: V500 STYLE: CIO.: 1 STYLE: -	MBER RAMEVO1 ELICK R	WORK		COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :-	OR 0125 I		9" RI - 1/8	x48", ESILIE B" GAI	J&J L ENT F UGE GOO	VT A	ζ , 7.28"	
120 NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1	J& J FLOORING GF PATCRAFT TBD JOHNSONITE TBD	ROUP	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: -	MBER RAMEVO1 ELICK R	WORK		COLOI COLOI COLOI COLOI SHIITA	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :-	OR 0125 I		9" RE - 1/8 SH	x48", ESILIE B" GAI	J&J L ENT F UGE GOO	VT A	Κ, 7.28" Η	
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3	TAL HEIGHT WALLS VEROOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GF PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM	ROUP	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 "VINYL SW9173	MBER RAMEVO1 ELICK R	WORK	ESH	COLOI COLOI COLOI COLOI SHIITA	R NO.: 10 R:ANCH R NO.: 00 R:KHAK R NO.: - R:- HER ORE	OR 0125 I		9" RE - 1/8 SH	x48", ESILIE	J&J L ENT F UGE GOO ELL F	VT AIPLANI	K, 7.28"	
120 NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4	TAL HEIGHT WALLS VEROOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GF PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM	ROUP	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: - " VINYL SW9173	MBER RAMEVO1 ELICK R	WORK	ESH	COLOI	R NO.: 10 R:ANCH R NO.: 00 R:KHAK R NO.: - R:- HER ORE	OR 0125 I		9" RE	x48", ESILIE B" GAI	J&J L ENT F UGE GOO ELL F ELL F	VT AIPLANIP DS FINISI	<, 7.28"	
120 NOTES: 1. PART 2. REST	TAL HEIGHT WALLS VENOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GENOME PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE	ROUP S S	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: - " VINYL SW9173 SW7633	MBER RAMEVOT ELICK REGOOV COVE	WORK	ESH	COLOI COLOI COLOI COLOI COLOI SHIITA TAUPE SEA PI WORL	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE	OR 0125 I	S	9" RE 1/8 SH ECC ECC	x48", ESILIE B" GAI HEET GGSH GGSH	J&J L ENT F UGE GOO ELL F ELL F	VT AIPLANNEDS FINISH	t, 7.28"	
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2	TAL HEIGHT WALLS VENOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GF PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM	ROUP S S	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.:	MBER RAMEVOT ELICK R 600V COVE PUN S VPN-10 ENSIN	WORK REFRE	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE	OR 0125 I	S	9" RE 1/8 SH EC EC CL	x48", ESILIE B' GAI HEET GGSH GGSH GGSH ASS	J&J L ENT F UGE GOO ELL F ELL F ELL F	VT AIPLANIPLANISH	H H H NON-RE	'x47.10"
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED	TAL HEIGHT WALLS VENOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GENOME PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON	ROUP S S	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: - " VINYL SW9173 SW7633 CC-17 SW7043 STYLE: S IO.: 2 STYLE: K	MBER RAMEVOT ELICK R 600V COVE PUN S VPN-10 ENSIN	WORK REFRE	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE INE DLY GRA R NO.: - R : BACK R NO.: -	OR 0125 I	S	9" RE 1/8 SH EC EC CL	x48", ESILIE B" GAI HEET GGSH GGSH GGSH	J&J L ENT F UGE GOO ELL F ELL F ELL F	VT AIPLANIPLANISH	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED DOOR / FRA	TAL HEIGHT WALLS VENOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GENOME PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON	ROUP S RCE ON	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: - " VINYL SW9173 SW7633 CC-17 SW7043 STYLE: S IO.: 2 STYLE: K	MBER RAMEVOT ELICK R 600V COVE PUN S VPN-10 ENSIN	WORK REFRE	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE INE DLY GRA R NO.: - R : BACK R NO.: -	OR 0125 I	S	9" RE 1/8 SH EC EC CL	x48", ESILIE B" GAI HEET GGSH GGSH GGSH	J&J L ENT F UGE GOO ELL F ELL F ELL F	VT AIPLANIPLANISH	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED DOOR / FRA PT-5	TAL HEIGHT WALLS VENOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GF PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUF WOLF GORDON	ROUP S S RCE ON	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.:	MBER RAMEVOT ELICK R 600V COVE PUN S VPN-10 ENSIN	WORK REFRE	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE INE DLY GRA R NO.: - R : BACK R NO.: -	OR 0125 I	S	9" RE 1/8 SH EC EC CL	x48", ESILIE B" GAI HEET GGSH GGSH GGSH	J&J L ENT F UGE GOO ELL F ELL F ELL F	VT AIPLANIPLANISH	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED DOOR / FRA PT-5 PT-6 CEILINGS	MANUFACTURE MANUFACTURE MANUFACTURER J & J FLOORING GE PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON ME FINISH BUILDING STANDA BUILDING STANDA	ROUP S RCE ON RD RD	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.:	MBER RAMEVOT ELICK R 600V COVE PUN S VPN-10 ENSIN	WORK REFRE	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE INE DLY GRA R NO.: - R : BACK R NO.: -	OR 0125 I	S	9" RE 1/8 SH EC EC CL	x48", ESILIE B" GAI HEET GGSH GGSH GGSH	J&J L ENT F UGE GOO ELL F ELL F ELL F	VT AIPLANIPLANISH	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED DOOR / FRA PT-5 PT-6 CEILINGS ACT-1	MANUFACTURE MANUFACTURER J & J FLOORING GE PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON ME FINISH BUILDING STANDA BUILDING STANDA	ROUP S RCE ON RD RD	S N S N S N S N S N S N S N S N S N S N	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.:	MBER RAMEVOT ELICK R 600V COVE PUN S VPN-10 ENSIN	WORK REFRE	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE INE DLY GRA R NO.: - R : BACK R NO.: -	OR 0125 I	S	9" RE 1/8 SH EC EC CL	x48", ESILIE B" GAI HEET GGSH GGSH GGSH	J&J L ENT F UGE GOO ELL F ELL F ELL F	VT AIPLANIPLANISH	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED DOOR / FRA PT-5 PT-6 CEILINGS ACT-1 SURFACES	MANUFACTURE MANUFACTURER J & J FLOORING GE PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON ME FINISH BUILDING STANDA BUILDING STANDA	ROUP S RCE ON RD RD	S S S S S S S S S S	WALL TI OLC TEM NUI STYLE: FIO.: V500 STYLE: CIO.: 1 STYLE: - IO.: - I' VINYL SW7633 AC-17 SW7043 STYLE: SIO.: 2 STYLE: KIO.: G	MBER RAMEVOT SLICK R 600V PUN S VPN-10 ENSIN OH 135	ILK O GTON 53607	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE INE DLY GRA R NO.: - R : BACK R NO.: -	OR 0125 I Y WOOD ERIA	S	9" RE -	x48", ESILIE B" GAI HEET GGSH GGSH GGSH	J&J L ENT F UGE GOO ELL F ELL F A, 54 A, 54	VT AIPLANIPLANISH	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED DOOR / FRA PT-5 PT-6 CEILINGS ACT-1 SURFACES PL-1	MANUFACTURE MANUFACTURER J & J FLOORING GE PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON ME FINISH BUILDING STANDA BUILDING STANDA	ROUP S RCE ON RD RD	S S S S S S S S S S S S S S S S S S S	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: - I	MBER RAMEVOT SLICK R 600V PUN S VPN-10 ENSIN OH 138	ILK O GTON 53607	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE	OR 0125 I Y WOOD ERIA	S	9" RE -	x48",	J&J L ENT F UGE GOO ELL F ELL F A, 54 A, 54	DS FINISH FINISH 'W, N	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED VWC-1 VWC-2 NOT USED DOOR / FRA PT-5 PT-6 CEILINGS ACT-1 SURFACES PL-1 PL-2	MANUFACTURER MANUFACTURER MANUFACTURER J & J FLOORING GE PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON ME FINISH BUILDING STANDA BUILDING STANDA BUILDING STANDA	ROUP S S RCE ON RD RD	S S S S S S S S S S S S S S S S S S S	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: - I	MBER RAMEVOT SLICK R 600V PUN S VPN-10 ENSIN OH 138	ILK O GTON 53607	SH I	COLOI	R NO.: 10 R : ANCH R NO.: 00 R : KHAK R NO.: - R :- HER ORE INE DLY GRA R NO.: - R : BACK R NO.: - R : WISTE	OR 0125 I Y WOOD ERIA NUT DUTH	S	9" RE -	x48",	J&J L ENT F UGE GOO ELL F ELL F A, 54 A, 54	DS FINISH 'W, N 'W, F	H H H NON-RE	EVERSE HANG, RANDOM MATCH
NOTES: 1. PART 2. REST MANU PRODUCT FLOORING LVT-1 LVT-2 (ACCENT) SV-1 BASE VB-1 VB-2 WALL FINISI PT-1 PT-2 PT-3 NOT USED PT-4 NOT USED	TAL HEIGHT WALLS VENDOM MAY INCLUDE JFACTURE MANUFACTURER J & J FLOORING GENT PATCRAFT TBD JOHNSONITE TBD H SHERWIN WILLIAM SHERWIN WILLIAM BENJAMIN MOORE SHERWIN WILLIAM D.L. COUCH - SOUE WOLF GORDON ME FINISH BUILDING STANDA BUILDING STANDA BUILDING STANDA WILSONART PIONITE	ROUP S S RCE ON RD RD	S S S S S S S S S S S S S S S S S S S	WALL TI OLC TEM NUI STYLE: F IO.: V500 STYLE: C IO.: 1 STYLE: - IO.: - I	MBER RAMEVOT SLICK R 600V PUN S VPN-10 ENSIN OH 138	ILK O GTON 53607	SH I	COLOI	R NO.: 10 R: ANCH R: ANCH R: ANCH R: ANCH R: KHAK R: KHAK R: NO.: - R:- HER ORE INE DLY GRA R: BACK R: NO.: - R: BACK R: WISTE CLE WAL CCADE SO	OR 0125 I Y WOOD ERIA NUT DUTH		9" RE -	x48",	J&J L ENT F UGE GOO ELL F ELL F A, 54 A, 54 TTS ERTC	DS FINISH 'W, N 'W, F	H H H NON-RE	EVERSE HANG, RANDOM MATCH



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INTERIOR PLANNING/DESIGN
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CIVIL ENGINEER
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STRUCTURAL ENGINEER
PRATER ENGINEERING ASSOC. INC.
PLUMBING, HVAC, ELECTRICAL ENGINEER
LEHMAN DAMAN CONSTRUCTION SERVICES
GENERAL CONTRACTOR

COLUMBUS ONCOLOGY & HEMATOLOGY INFUSION LAB ADDITION 810 JASONWAY AVE. COLUMBUS, OH 43214

■ Date:

SPECIFIED BEARING ELEVATION; U.N.O.

DESIGN CRITERIA AND LOADS GOVERNING BUILDING CODE: 2015 OHIO BUILDING CODE

ALL STUDWALLS SHALL BE BALLOON FRAMED TO

DESIGN LOADS:			
FLOOR LIVE LOADS:	TYPICAL FLOOR PARTITIONS LOBBIES AND FIRST FLOOR CORRIDORS CORRIDORS ABOVE FIRST FLOOR BALCONIES (EXTERIOR) OADS (MINIMUM):	UNIFORM 50 PSF 15 PSF 100 PSF 80 PSF 75 PSF	CONCENTRATED 2000 LBS. 1000 LBS. 2000 LBS.
DESIGN ROOF LIVE L	OADS (MINIMUM):		20 PSF
WIND LOADS:	NOMINAL DESIGN WIND SPEED RISK CATEGORY: EXPOSURE CATEGORY: ENCLOSURE CLASSIFICATION: INTERNAL PRESSURE COEFFICI DIRECTIONALITY (Kd): MEAN ROOF HEIGHT (h)	: ENT (GCpi):	69.71 MPH II B ENCLOSED 0.18 +/- 0.85 55.0 FT
ROOF SNOW LOADS:	DESIGN UNIFORM ROOF SNOW FLAT-ROOF SNOW LOAD (Pf): BALANCED SNOW LOAD (Ps): GROUND SNOW LOAD (Pg): IMPORTANCE FACTOR (I): SNOW EXPOSURE FACTOR (Ce THERMAL FACTOR (Ct): SLOPED ROOF FACTOR (Cs): DRIFT SURCHARGE LOAD (Pd) WIDTH OF SNOW DRIFT (w):	LOAD:):	20.0 PSF 14.0 PSF 14.0 PSF 20.0 PSF 1.0 1.0 1.0 1.0 7.0 1.0 1.0
SEISMIC DESIGN CRI	FERIA: RISK CATEGORY: IMPORTANCE FACTOR (I): MAPPED SPECTRAL RESPONSE MAPPED SPECTRAL RESPONSE SITE SOIL CLASS: SPECTRAL RESPONSE COEF. (SPECTRAL RESPONSE COEF. (SEISMIC DESIGN CATEGORY: BASIC STRUCTURAL SYSTEM(S) BASIC SEISMIC RESISTING SYS DESIGN BASE SHEAR (V): SEISMIC RESPONSE COEF.(Cs) RESPONSE MODIFICATION FACT ANALYSIS PROCEDURE:	(Ss): (S1): Sds): Sd1): I: TEM(S): :	II 1.0 13.50%g 6.90%g C 0.108 0.078 B BUILDING FRAME SYSTEMS STEEL ECCENTRICALLY BRACED FRAM 0.014W 0.014 8 EQUIV. LATERAL FORCE
OTHER LOADS:	INTERIOR PARTITIONS (1607.1. HANDRAILS AND GUARDS (160 DESIGN SOIL BEARING PRESSU	3) 17.7) JRE:	15 PSF (HORIZ.) 50 PLF, 200# 3000 PSF
ADDITIONAL LOADS:			

DL = DEAD LOAD

Lr = ROOF LIVE LOAD S = SNOW LOAD

<u>DESIGN WIND LOADS - COMPONENTS AND CLADDING</u>

MINIMUM DESIGN WIND	LOADS FOR C	OMPONENTS A	ND CLADDING	3: 			
ROOF(S):	SURFA	CE PRESSURE	(PSF)	WALL(S):	SURFA	CE PRESSURE	(PSF)
<u>AREA</u>	<u>10 SF</u>	<u>50 SF</u>	<u>100 SF</u>	<u>AREA</u>	<u>10 SF</u>	<u>50 SF</u>	` <u>100 SF</u>
NEGATIVE ZONE 1 NEGATIVE ZONE 2 NEGATIVE ZONE 3 POSITIVE ALL ZONES	16.6 27.8 27.8 16.0	16.0 20.9 20.9 16.0	16.0 18.0 18.0 16.0	NEGATIVE ZONE 4 NEGATIVE ZONE 5 POSITIVE ZONE 4 & 5	16.4 20.2 16.0	16.0 16.0 16.0	16.0 16.0 16.0
OVERHANGE ZONE 2 OVERHANGE ZONE 3	23.9 23.9	22.9 22.9	22.5 22.5				

LOCATION OF WIND PRESSURE ZONES: A (CORNER ZONE DIMENSION): 12'-0"

LOCATION OF WIND PRESSURE ZONES $\emptyset \le 7^{\circ}$ AND MONOSLOPE ≤ 3

GENERAL NOTES

A. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE PROJECT DRAWINGS AND SPECIFICATIONS, AND MAY SPECIFY STRUCTURAL CONSTRUCTION REQUIREMENTS NOT SHOWN ON THE PROJECT DRAWINGS OR SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO READ AND UNDERSTAND THE GENERAL STRUCTURAL NOTES PRIOR TO START OF CONSTRUCTION.

THE STRUCTURAL DRAWINGS ARE INTENDED TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, AND CIVIL (SITE) DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL INFORMATION RELATED TO STRUCTURAL WORK AND SHOP DRAWINGS. THIS INCLUDES, BUT IS NOT LIMITED TO DIMENSIONS COLUMN LOCATIONS OPENING LOCATIONS AND ELEVATIONS. SLAB RECESSES. MECHANICAL COMPONENTS EMBEDDED IN CONCRETE. WHERE A DETAIL OR NOTE IS SHOWN FOR ONE CONDITION ON THE DRAWINGS, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING DETAILS AND ACCURACY OF THE WORK: FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS: FOR SELECTING FABRICATION PROCESSES: FOR TECHNIQUES OF ASSEMBLY: AND FOR PERFORMING WORK IN A SAFE AND SECURE MANNER. IN CASE OF DISCREPANCIES BETWEEN THE GENERAL STRUCTURAL NOTES, SPECIFICATIONS, DRAWINGS, OR REFERENCE STANDARDS, THE ARCHITECT/ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. SHOULD ANY DISCREPANCY BE FOUND IN THE CONTRACT DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE INCLUDED IN THE PRICE THE MOST EXPENSIVE WAY OF COMPLETING THE WORK; UNLESS, PRIOR TO THE SUBMISSION OF THE BID PRICE, THE CONTRACTOR REQUESTS A DECISION FROM THE ARCHITECT/ENGINEER AS TO WHICH SHALL GOVERN, ACCORDINGLY ANY CONFLICT IN OR BETWEEN THE CONTRACT DOCUMENTS SHALL NOT BE A BASIS FOR ADDITIONAL COST

ADJUSTMENT TO THE CONTRACT PRICE. THE CONTRACTOR SHALL NOT STORE CONSTRUCTION MATERIALS OR PERFORM CONSTRUCTION OPERATIONS IN A MANNER OR METHOD THAT WILL EXCEED THE LOADS SPECIFIED IN THE DESIGN CRITERIA AND LOADS SECTION OF TI

THE CONTRACTOR IS RESPONSIBLE TO BE IN COMPLIANCE WITH ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. H. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. I SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE MEANS AND METHODS, ERECTION PROCEDURE AND SEQUENCE. AS REQUIRED TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS WHICH MIGHT BE NECESSARY, SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER THE COMPLETION OF THE

CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL AND MOISTURE MOVEMENTS OF STRUCTURAL COMPONENTS DURING THE CONSTRUCTION PERIOD. FQUIPMENT FRAMING LOADS, OPENINGS, AND STRUCTURE IN ANY WAY RELATED TO HVAC, PLUMBING, OR FLECTRICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE APPLICABLE TRADES BEFORE PROCEEDING WITH SUCH PORTION OF WORK. COORDINATE SIZE AND LOCATION OF ALL OPENINGS WITH THE MECHANICAL DRAWINGS.

K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION RELATED PROCEDURES AND PROTECTION OF STRUCTURES, UTILITIES, ADJACENT PROPERTIES, ETC. IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND WHEN THE CONTRACTOR FAILS TO CONSTRUCT ANY PORTION OF THE STRUCTURE IN ACCORDANCE WITH THE DRAWINGS AND NOTES, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE REMEDIATION OF THE DEFECT AND ALL RELATED COSTS INCLUDING ENGINEERING SERVICES. WHEN A DEFECT IS FIRST IDENTIFIED, IT SHALL BE BROUGHT T

M. THE DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. REFER TO ARCHITECTURAL DRAWINGS FOR WALL LOCATIONS. WALL TYPE, ELEVATIONS, AND BUILDING LAYOUT. O. THE NOTES ON THIS DRAWING ARE THE SOLE PROPERTY OF JACK D. WALTERS & ASSOCIATES, INC. JACK D. WALTERS AND ASSOCIATES, INC. EXPRESSLY RESERVES IT'S COPYRIGHT AND OTHER PROPERTY RIGHTS IN THIS PLAN, NOTES, AND DRAWINGS. THESE NOTES, PLANS, AND DRAWINGS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM OR

EXISTING CONSTRUCTION

. ALL MEMBER SIZES AND DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURES SHOWN ON THE DRAWINGS ARE OBTAINED FROM AVAILABLE SOURCES, AND ARE NOT GUARANTEED TO BE TRUE AND EXACT. THE CONTRACTOR SHALL VERIFY THESE DIMENSIONS AND ELEVATIONS BY ACTUAL FIELD MEASUREMENTS PRIOR TO FABRICATION OF ANY MATERIALS AND START OF WORK, AND REPORT ANY DISCREPANCIES TO THE

2. THE CONTRACTOR SHALL PROVIDE ALL SHORING, NEEDLING AND BRACING AS REQUIRED TO SUPPORT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURE TO DETERMINE THE EXTENT OF NECESSARY SHORING, NEEDLING AND UNDERPINNING. THE CAPACITY AND METHOD USED FOR SHORING AND NEEDLING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

DEMOLITION NOTES

REMOVE EXISTING CONSTRUCTION AS SHOWN ON PLANS. SEE PLANS, SECTIONS, AND DETAILS FOR EXTENT OF STRUCTURE

EXISTING STRUCTURAL FRAMING SHALL REMAIN UNLESS SPECIFICALLY NOTED ON PLAN TO BE REMOVED. IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS, NOTIFY STRUCTURAL ARCHITECT/ENGINEER BEFORE 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE EXISTING BUILDING DURING THE COURSE OF

CONSTRUCTION AND IMMEDIATELY ADVISE THE ARCHITECT/ENGINEER OF ANY AREAS WHERE THE STRUCTURE EXHIBITS DISTRESS OR FAILURE . IT IS THE CONTRACTOR'S RESPONSIBILITY TO SATISFY HIMSELF AS TO THE LOCATION OF ANY EXISTING SYSTEMS IN THE IMMEDIATE VICINITY OF CONSTRUCTION SO AS TO PREVENT DAMAGE TO THEM. SHOULD ANY DAMAGE TO SUCH SYSTEMS OCCUR THE CONTRACTOR SHALL BE REQUIRED TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE AND TO THE SATISFACTION

CONTRACTOR TO NEEDLE AND SHORE EXISTING WALLS, FLOOR, AND ROOF FRAMING AS REQUIRED PRIOR TO DEMOLITION O EXISTING BUILDING ELEMENTS AND INSTALLATION OF NEW OPENINGS AND FRAMING. SUBMIT SIGNED AND SEALED SHORING SHOP DRAWINGS W/ CALCULATIONS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

<u>DEFINITION OF RESPONSIBILITIES</u>

1. "ARCHITECT/ENGINEER": THE ARCHITECT OF RECORD AND THE STRUCTURAL ENGINEER OF RECORD.

2. <u>"STRUCTURAL ENGINEER OF RECORD" (SER)</u>: THE STRUCTURAL ENGINEER WHO IS LICENSED TO STAMP & SIGN THE STRUCTURAL DOCUMENTS FOR THE PROJECT. THE SER IS RESPONSIBLE FOR THE DESIGN OF THE PRIMARY STRUCTURAL SYSTEM. THE STRENGTH AND STABILITY OF THE PRIMARY STRUCTURE IN ITS COMPLETED FORM.

3. "SPECIALTY STRUCTURAL ENGINEER" (SSE): A PROFESSIONAL ENGINEER (PE OR SE), LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED, (TYPICALY NOT THE SER), WHO PERFORMS SPECIALTY STRUCTURAL ENGINEERING SERVICES FOR SFLECTED SPECIALITY—ENGINEERED FLEMENTS IDENTIFIED IN THE CONTRACT DOCUMENTS, AND WHO HAS EXPERIENCE AND TRAINING IN THE SPECIALITY. DOCUMENTS STAMPED AND SIGNED BY THE SSE SHALL BE COMPLETED BY OR UNDER THE DIRECT SUPERVISION OF THE SSE.

4. "GENERAL CONTRACTOR", "GC", "CONTRACTOR", "CONSTRUCTION MANAGER", "CM": THE BUSINESS ENTITY MANAGING THE CONSTRUCTION OF THE PROJECT AND WHO IS DIRECT CONTRACT WITH THE OWNER OR OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND ALL RELATED SAFETY

5. "BIDDER-DESIGNED": COMPONENTS OF THE STRUCTURE THAT REQUIRE THE GENERAL CONTRACTOR. SUBCONTRACTOR. OR SUPPLIER WHO IS RESPONSIBLE FOR DESIGN, FABRICATION AND INSTALLATION OF SPECIALTY—ENGINEERED ELEMENTS IDENTIFIED IN THE CONTRACT DOCUMENTS TO RETAIN THE SERVICES OF AN SSE. SUBMITTALS OF "BIDDER-DESIGNED" ELEMENTS SHALL BE STAMPED AND SIGNED BY THE SSE.

6. "IRC": INTERNATIONAL RESIDENTIAL CODE.

BIDDER-DESIGNED ELEMENTS

SUBMIT "BIDDER-DESIGNED" DEFERRED SUBMITTALS TO THE ARCHITECT AND SER FOR REVIEW PRIOR TO SUBMISSION TO

DESIGN OF PREFABRICATED, "BIDDER DESIGNED", MANUFACTURED, PRE-ENGINEERED, OR OTHER FABRICATED PROJECT SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS: A. DESIGN CONSIDERS THE LOAD PATHS AND FOUNDATION LOCATIONS DEFINED ON THE CONTRACT DRAWINGS BY THE B. DESIGN CONSIDERS TRIBUTARY DEAD, LIVE, WIND AND SEISMIC LOADS IN COMBINATIONS REQUIRED BY GOVERNING

DESIGN WITHIN THE DEFLECTION LIMITS NOTED HEREIN AS SPECIFIED AND REFERENCED IN THE GOVERNING CODE. DESIGN SHALL CONFORM TO THE SPECIFICATIONS AND REFERENCE STANDARDS OF THE GOVERNING CODE. SUBMITTAL SHALL INCLUDE:

VERTICAL/LIMIT (L IS SPAN LENGTH, INCHES) L/240 ROOF MEMBERS, DEAD+LIVE OR SNOW OR WIND, TOTAL LOAD (TL) DEFLECTION ROOF, LIVE OR SNOW OR WIND LOAD (RLL) L/360 FLOOR MEMBERS, TOTAL LOAD (TL) UNO L/360 FLOOR LIVE LOAD (II) UNO OPERABLE PARTITION SUPPORT MEMBERS L/600 OR 1/4" MAXIMUM

HORIZONTAL/LIMIT AND FOOTNOTE MEMBERS SUPPORTING BRITTLE FINISHES L/240 (1) MEMBERS SUPPORTING FLEXIBLE FINISHES L/180 (1) MEMBERS SUPPORTING MASONRY L/600 @ 0.7 (1) (1) WIND LOAD IS REDUCIBLE TO 0.7 TIMES THE COMPONENT AND CLADDING LOADS PER TABLE 1604.3 FOOTNOTE F.

A. THE GC IS RESPONSIBLE TO THOROUGHLY REVIEW THE BIDDER-DESIGNED SUBMITTAL (SHOP DRAWINGS) PRIOR TO SUBMITTING TO THE ARCHITECT AND ENGINEER OF RECORD. THE CONTRACTOR IS RESPONSIBLE TO STAMP THE SUBMITTAL INDICATING COMPETION OF REVIEW AND ACTION OF REVIEW.

STEEL STAIRS, HANDRAILS & GUARDRAILS

STAIRS, LANDINGS, AND ALL CONNECTIONS ARE BIDDER-DESIGNED COMPONENTS UNLESS DETAILED OTHERWISE ON DRAWINGS. ALL COMPONENTS SHALL BE DESIGNED AND SPECIFIED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF PROJECT CONSTRUCTION, AND IN CONFORMANCE WITH THE DESIGN LOADS SPECIFIED ON THE DRAWINGS OR APPLICABLE DESIGN CODE.

STAIR SUPPLIER SHALL DESIGN ALL STAIR FRAMING INCLUDING HANDRAILS, GUARDRAILS, AND BASE CONNECTIONS TO SUPPORT THE FOLLOWING DESIGN LOADS:

LIVE LOAD: 100 PSF OR 300 LBS CONCENTRATED LOAD AT CENTER TREAD OR AT ANY POINT ON LANDING HANDRAILS: 50 LBS/FT OR 200 LBS CONCENTRATED LOAD, WHICHEVER IS GREATER, APPLIED AT ANY POINT IN ANY DIRECTION. GUARDRAILS: 100 LBS/FT VERTICALLY AND 50 LBS/FT HORIZONTALLY, OR A 200 LBS CONCENTRATED LOAD, WHICHEVER IS GREATER. APPLIED AT ANY POINT AND IN ANY DIRECTION TO THE TOP RAIL. A 200 LBS CONCENTRATED LOAD APPLIED ON A 1 S.F. AREA AT ANY POINT FOR REMAINING GUARDRAIL INFILL COMPONENTS.

HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR THE FOLLOWING MAXIMUM DEFLECTIONS (TRANSVERSE, SIDE TO SIDE): 0.60 INCHES FOR 36 INCH RAILING HEIGHT

DEAD LOAD: AS REQUIRED BY CONSTRUCTION

0.70 INCHES FOR 42 INCH RAILING HEIGHT

WHERE STEEL BEARS ON WALL, MANUFACTURER TO PROVIDE BEARING PLATES AND ANCHOR BOLTS TO MAINTAIN 200 P.S.I. BEARING PRESSURE.

PROVIDE HANGERS, CLIP ANGLES, ETC. AS REQUIRED FOR SUSPENSION OF STAIR FRAMING FROM STRUCTURAL

SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR REVIEW PRIOR TO FABRICATION OR ERECTION, STAIR SUPPLIER'S SHOP DRAWINGS SHALL CONTAIN A CERTIFICATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER STATING THAT THE STAIR, GUARDRAIL, AND BASE CONNECTION COMPONENTS HAVE BEEN DESIGNED TO SUPPORT THE SPECIFIED LOADS.

THE FIREPROOFING ASSOCIATED WITH STRUCTURAL COMPONENTS IS NOT SHOWN ON THE STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE TO REFERENCE THE ARCHITECTURAL DRAWINGS AND APPLICABLE BUILDING CODE FOR FIRE RATING INSTALLATION REQUIREMENTS

SOIL AND FOUNDATION PREPARATION

ALL EXCAVATIONS, GRADING, COMPACTION, ETC., SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER. GEOTECHNICAL CONSULTANTS, INC MELISSA A. BRADLEY P.E. - PROJECT ENGINEER

DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A MINIMUM FROST DEPTH OF 30" BELOW FINISH GRADE. ALL EXTERIOR AND PERIMETER FOUNDATIONS SHALL BEAR BELOW THIS MINIMUM PROTECTION DEPTH, U.N.O. FOUNDATION CONCRETE SHALL BE PLACED THE SAME DAY THE EXCAVATION IS MADE WHEN FEASIBLE. WHERE FOUNDATION EXCAVATIONS MUST REMAIN OPEN OR EXPOSED. SPECIAL CARE SHOULD BE TAKEN TO PROTECT THE EXPOSED SOILS FROM BEING DISTURBED. SATURATED. OR DRIED OUT PRIOR TO THE PLACEMENT OF SELECT FILL OR CONCRETE. CONCRETE SLABS SHALL BE PLACED ON A VAPOR BARRIER ON A FREE-DRAINING AGGREGATE BASE. THE DRAINAGE COURSE SHALL BE A MINIMUM 4" THICK (U.N.O.) AND BE COMPACTED PER PROJECT SPECIFICATIONS. DO NOT PLACE CONCRETE BEFORE INSPECTION AND APPROVAL OF DRAINAGE COURSE BY SOILS ENGINEER: U.N.O.

THE CONTRACTOR SHALL LOCATE AND VERIFY THE FOLLOWING WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS PRIOR TO THE PLACEMENT OF CONCRETE: ALL DOOR OPENINGS IN FOUNDATION WALLS DRAINS SLAB SLOPES, BLOCKOUTS FOR POOLS, SPAS, FREEZERS, COOLERS, PLUMBING, SPRINKLERS, AND HVAC. ALL DUCT CHASES, CONCRETE CURBS AND LOCATIONS SHALL BE PER ARCHITECTURAL DRAWINGS. FOUNDATIONS SHALL NOT BE PLACED OVER UTILITY LINES OR UTILITY TRENCH EXCAVATIONS UNLESS SPECIFICALLY DETAILED OTHERWISE. FOUNDATIONS SHALL BE STEPPED DOWN IN ELEVATION(S) SO THAT UTILITY LINE(S) PASS ABOVE FOOTING FLEVATION, REFERENCE TYPICAL DETAIL SECTION OF DRAWINGS FOR FOOTING REQUIREMENTS ADJACENT TO UTILITY LINES.

"UTILITY" DESIGNATES ANY UNDERGROUND ELECTRIC, GAS, WATER, OR SANITARY LINE. FOUNDATION WALLS DESIGNED TO RETAIN EARTH PRESSURES SHALL NOT BE BACKFILLED UNTIL THE FOLLOWING IS A. THE CONCRETE AND/OR MORTAR HAS CURED A MINIMUM OF 28 DAYS: AND -

THE FLOOR STRUCTÚRE AND TOP AND BOTTOM OF WALL ARE IN PLACE, FULLY ANCHORED, AND CURED: OR -TEMPORARY WALL BRACING IS INSTALLED, DESIGNED AND SUPPLIED BY THE CONTRACTOR. WHERE FOUNDATION WALLS ARE TO HAVE EARTH BACKFILL PLACED ON EITHER SIDE OF THE WALL, PLACE FILL IN A MANNER TO MAINTAIN A COMMON FLEVATION ON EACH SIDE OF THE WALL. DO NOT OPERATE HEAVY MACHINERY ADJACENT TO BASEMENT FOUNDATIONS WALLS IN A MANNER THAT MAY IMPOSE LATERAL LOADS ON THE FOUNDATION WALL. PROVIDE A DRAIN SYSTEM FOR FOUNDATION AND RETAINING WALLS, U.N.O.

POST INSTALLED ANCHORING SYSTEMS

A. SUBSTITUTION OF EXPANSION, SCREW, OR ADHESIVE ANCHORS FOR EMBEDDED ANCHORS SPECIFIED ON THE DRAWINGS IS NOT PERMITTED UNLESS APPROVED BY ENGINEER OF RECORD IN WRITING. B. ANCHORS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURE'S REQUIREMENTS. IMPROPER

INSTALLATION MAY RESULT IN THE INSTALLATION OF ADDITIONAL ANCHORS AT THE SOLE COST OF THE CONTRACTOR. A. POST-INSTALLED ANCHORS INTO CONCRETE FOR THIS PROJECT ARE DESIGNED IN ACCORDANCE WITH AMERICAN

CONCRETE INSTITUTE, ACI318-08, APPENDIX D SPECIFICATIONS. WELDING IS NOT PERMITTED ADJACENT TO EPOXY ANCHOR INSTALLATIONS.

THE FOLLOWING ADHESIVE-TYPE ANCHORING SYSTEMS HAVE BEEN USED IN THE DESIGN AND SHALL BE USED FOR ANCHORAGE TO CONCRETE AND MASONRY, AS APPLICABLE AND IN ACCORDANCE WITH THE CORRESPONDING CURRENT ICC ESR REPORT. DRILL-IN ANCHOR EMBEDMENT LENGTHS SHALL BE SHOWN ON DRAWINGS, OR NOT LESS THAN 7 TIMES THE ANCHOR NOMINAL DIAMETER: HILTI "HIT-RE 500 SD" - ICC ESR-2322 FOR ANCHORAGE TO CONCRETE. HILTI "HY-150 MAX" - ICC ESR-1967 - FOR ANCHORAGE TO MASONRY ONLY.

C. STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" STANDARD RODS. SIZE AND EMBEDMENT SHALL BE AS A. THE FOLLOWING EXPANSION TYPE ANCHORS ARE PRE-APPROVED FOR ANCHORAGE TO CONCRETE OR MASONRY IN

ACCORDANCE WITH CORRESPONDING CURRENT ICC ESR REPORT: HILTI "KWIK BOLT TZ" - ICC ESR-1917. HILTI "KWIK BOLT 3" - ICC ESR-1385, FOR ANCHORAGE TO MASONRY ONLY.

FOLLOWS:

SCREW ANCHORS: THE FOLLOWING SCREW TYPE ANCHOR IS PRE-APPROVED FOR ANCHORAGE TO CONCRETE OR MASONRY IN

ACCORDANCE WITH CORRESPONDING CURRENT ICC ESR REPORT: SIMPSON "TITEN HD" - ICC ESR-2713 FOR CONCRETE ONLY AND ICC ESR-1056 FOR MASONRY ONLY. POWDER DRIVEN FASTENERS: A. POWDER DRIVE FASTENERS SHALL BE MANUFACTURED BY HILTI AND INSTALLED AT THE SPACING SHOWN ON THE DRAWINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION. PROVIDE FASTENERS FOR STEEL AND CONCRETE SUBSTRATES AS

1) FOR FASTENING WOOD OR LIGHT GAGE METAL FRAMING TO STEEL: TYPE X-U NAIL, 0.157" DIAMETER, QUALIFIED PER ICC-ES ESR-2269, FASTENER LENGTH SHALL BE AS REQUIREDFOR MINIMUM SHANK PENETRATION 2) FOR FASTENING WOOD FRAMING TO CONCRETE OR SOLID CMU: TYPE X-CP 72 P8 S23 NAIL, 0.145" DIAMETER, 2 %" LONG, QUALIFIED PER ICC-ES ESR-2379.

MISCELL ANEOLIS A. ANCHORS INSTALLED IN EXTERIOR, WET, OR UNDERGROUND APPLICATIONS SHALL BE STAINLESS STEEL, U.N.O. B. ANCHORS INSTALLED IN PRESSURE TREATED LUMBER SHALL BE GALVANIZED (MIN. ASTM A153 STANDARD) OR STAINLESS STEEL (MIN. TYPE 304). ALTERNATE FINISHES MAY BE SUBSTITUTED CONTINGENT UPON COMPATIBILITY WITH WOOD TREATMENT TYPE, REFERENCE PRESSURE TREATED WOOD SECTION FOR ADDITIONAL INFORMATION ALTERNATE PRODUCT SUBSTITUTION REQUIRES WRITTEN APPROVAL FROM ENGINEER OF RECORD.

ANCHORS SHALL BE INSTALLED VERTICALLY AND HORIZONTALLY TRUE (ALIGNED). U.N.O. ANCHORS INSTALLED TILTED. SKEWED, AND NOT ALIGNED WILL BE SUBJECT TO REPLACEMENT AT THE SOLE COST OF THE CONTRACTOR.

CAST-IN-PLACE CONCRETE

REFERENCE STANDARDS: REFER TO PROJECT SPECIFICATION MANUAL. CONFORM TO:

A. ACI 301-10 'SPECIFICATIONS FOR STRUCTURAL CONCRETE', B. IBC CHAPTER 19-CONCRETE

ALL CONCRETE EXPOSED

TOPPING OVER PRECAST

SLABS, METAL DECK

| BACKFILL BELOW FOOTINGS | 1500 | 376#/C.Y.

TO WEATHER.

C. ACI 318-08/318R-1 D. ACI 117–10 FIELD REFERENCE: THE CONTRACTOR SHALL KEEP A COPY OF ACI FIELD REFERENCE MANUAL, SP-15, "STANDARD

SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301) WITH SELECTED ACI AND ASTM REFERENCES" CONCRETE MIXTURES: CONFORM TO ACI 301 SECTION 4 "CONCRETE MIXTURES" AND IBC SECTION 1904.3. MATERIALS: CONFORM TO ACI 301 SECTION 4.2.1 "MATERIALS" FOR REQUIREMENTS FOR CEMENTITIOUS MATERIALS,

AGGREGATES, MIXING WATER AND ADMIXTURES. SUBMITTALS: PROVIDE ALL SUBMITTALS REQUIRED BY ACI 301 SECTION 4.1.2. SUBMIT MIX DESIGNS FOR EACH MIX IN THE TABLE BELOW. SUBSTANTIATING STRENGTH RESULTS FROM PAST TESTS SHALL NOT BE OLDER THAN 12 MONTHS PER ACI 318 SECTION 5.3. REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL SUBMITTAL REQUIREMENTS.

TABLE OF MIX DESIGN REQUIREMENTS MINIMUM | MAXIMUM | AIR | | (28 DAY)| CEMENTITIOUS | W/C | CONTENT | AGGREGATE | FIBERS CONCRETE CONTENT | RATIO SIZE 3000 | 470#/C.Y. | ___ | 2%-4% | | FOOTINGS, INTERIOR 3500 | 517#/C.Y. | 0.53 | 1.5#/C.Y INTERIOR SLABS 4000 | 564#/C.Y. | 0.40 | 5%-7% | 3/4" I FXTFRIOR CONCRETE SLABS ON GRADE, PIERS, WALLS, SITE CONCRETE

W/C RATIO: WATER-CEMENTITIOUS MATERIAL RATIOS SHALL BE BASED ON THE TOTAL WEIGHT OF CEMENTITIOUS MATERIALS. MAXIMUM RATIOS ARE CONTROLLED BY STRENGTH NOTED IN THE TABLE OF MIX DESIGN REQUIREMENTS AND DURABILITY REQUIREMENTS GIVEN IN ACI 318 SECTION 4.3.

CEMENTITIOUS MATERIALS: A. THE USE OF FLY ASH, OTHER POZZOLANS, SILICA FUME, OR SLAG SHALL CONFORM TO ACI 318 SECTIONS 4.3.1 AND 4.4.2. MAXIMUM AMOUNT OF FLY ASH SHALL BE 25% OF TOTAL CEMENTITIOUS CONTENT UNLESS REVIEWED

3500 | 517#/C.Y. | 0.50 |

AND APPROVED OTHERWISE BY SER B. FOR CONCRETE USED IN ELEVATED FLOORS, MINIMUM CEMENTITIOUS-MATERIALS CONTENT SHALL CONFORM TO ACI 301 TABLE 4.2.2.1. ACCEPTANCE OF LOWER CEMENT CONTENT IS CONTINGENT ON PROVIDING SUPPORTING DATA TO THE SER FOR REVIEW AND ACCEPTANCE

. CEMENTITIOUS MATERIALS SHALL CONFORM TO THE RELEVANT ASTM STANDARDS LISTED IN ACI 318 SECTION 3.2.1. AIR CONTENT: CONFORM TO ACI 318 SECTION 4.4.1. MINIMUM STANDARDS FOR EXPOSURE CLASS ARE NOTED IN THE TABLE, IF FREEZING AND THAWING CLASS IS NOT NOTED, AIR CONTENT GIVEN IS THAT REQUIRED BY THE SER, CONCRETE SURFACES IN CONTACT WITH THE SOIL REQUIRE ENTRAINED AIR. TOLERANCE IS ±1-%. AIR CONTENT SHALL BE MEASURED AT POINT OF PLACEMENT. AGGREGATES SHALL CONFORM TO ASTM C33.

SLUMP: CONFORM TO ACI 301 SECTION 4.2.2.2. SLUMP SHALL BE DETERMINED AT POINT OF PLACEMENT. CHLORIDE CONTENT: CONFORM TO ACL 318 SECTION 4.3.1.

NON-CHLORIDE ACCELERATOR: NON-CHLORIDE ACCELERATING ADMIXTURE MAY BE USED IN CONCRETE PLACED AT AMBIENT TEMPERATURES BELOW 50°F AT THE CONTRACTOR'S OPTION. ACI 318, SECTION 4 EXPOSURE CLASSES SHALL BE ASSUMED TO BE FO, SO, PO, AND CO UNLESS DIFFERENT EXPOSURE CLASSES ARE LISTED IN THE TABLE OF MIX DESIGN REQUIREMENTS THAT MODIFY THESE BASE REQUIREMENTS. SHRINKAGE LIMIT: CONCRETE USED IN ELEVATED SLABS AND BEAMS SHALL HAVE A SHRINKAGE LIMIT OF .035% AT 28

DAYS MEASURED IN ACCORDANCE WITH ASTM C157. SUBMIT LABORATORY TEST RESULTS TO SER FOR APPROVAL PRIOR TO FORMWORK & RE-SHORING: CONFORM TO ACI 347, ACI 301 SECTION 2 "FORMWORK AND FORM ACCESSORIES." REMOVAL OF FORMS SHALL CONFORM TO SECTION 2.3.2 EXCEPT STRENGTH INDICATED IN SECTION 2.3.2.5 SHALL BE 0.75 F'c. RESHORING SHALL CONFORM TO SECTION 2.3.3. CONTRACTOR SHALL SUBMIT FORMWORK REMOVAL AND RE-SHORE INSTALLATION PROCEDURE AND DRAWINGS AS APPLICABLE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE

WHERE THE PROJECT IS LOCATED FOR THE SER'S INFORMATION. MEASURING, MIXING AND DELIVERY: CONFORM TO ACI 301 SECTION 4.3. HANDLING. PLACING. CONSTRUCTING AND CURING: CONFORM TO ACI 301 SECTION 5. IN ADDITION, HOT WEATHER CONCRETING SHALL CONFORM TO ACI 305.1-06 AND COLD WEATHER CONCRETING SHALL CONFORM TO ACI 306.1-90. CONCRETE CURING: PROVIDE CURING COMPOUNDS FOR CONCRETE AS FOLLOWS: ASTM C1315, TYPE 1 CLASS A. USE MEMBRANE CURING COMPOUNDS THAT ARE COMPATIBLE WITH AND WILL NOT AFFECT SURFACES TO BE COVERED

WITH FINISH MATERIALS APPLIED DIRECTLY TO CONCRETE. B. APPLY CURING COMPOUNDS AT A RATE EQUIVALENT TO THE RATE OF APPLICATION AT WHICH CURING COMPOUND WAS ORIGINALLY TESTED FOR IN CONFORMANCE TO THE REQUIREMENTS OF ASTM C 309-07 AND THE MANUFACTURER'S RECOMMENDATIONS APPLY SPECIFIED CURING COMPOUND TO CONCRETE SLABS AS SOON AS FINAL FINISHING OPERATIONS ARE

COMPLETE (WITHIN 2 HOURS AND AFTER SURFACE WATER SHEEN HAS DISAPPEARED). APPLY UNIFORMLY IN CONTINUIOUS OPERATION BY POWER SPRAY OR ROLLER IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS RECOAT AREAS SUBJECTED TO HEAVY RAINFALL WITHIN 3 HOURS AFTER INITIAL APPLICATION. MAINTAIN CONTINUITY OF COATING AND REPAIR DAMAGE DURING CURING PERIOD. D. USE CURING COMPOUND COMPATIBLE WITH AND APPLIED UNDER DIRECTION OF SYSTEM MANUFACTURER OF

APPLY TWO SEPARATE COATS WITH FIRST ALLOWED TO BECOME TACKY BEFORE APPLYING SECOND. DIRECTION OF

SECOND APPLICATION SHALL BE AT RIGHT ANGLES TO DIRECTION OF FIRST. CONSTRUCTION JOINTS: CONFORM TO ACI 301 SECTIONS. 2.2.2.5, 5.2.2.1 AND 5.3.2.6. CONSTRUCTION JOINTS SHALL BE LOCATED AND DETAILED AS ON THE CONSTRUCTION DRAWINGS. SUBMIT ALTERNATE LOCATIONS PER ACI 301 SECTION 5.1.2.3A FOR REVIEW AND APPROVAL BY THE SER TWO WEEKS MINIMUM PRIOR TO FORMING. USE OF AN ACCEPTABLE ADHESIVE, SURFACE RETARDANT, PORTLAND CEMENT GROUT OR ROUGHENING THE SURFACE IS NOT REQUIRED UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EMBEDDED ITEMS: POSITION AND SECURE IN PLACE EXPANSION JOINT MATERIAL, ANCHORS AND OTHER STRUCTURAL AND NON-STRUCTURAL EMBEDDED ITEMS BEFORE PLACING CONCRETE. CONTRACTOR SHALL REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND ARCHITECTURAL DRAWINGS AND COORDINATE OTHER EMBEDDED ITEMS. GROUTED REBAR: SEE POST-INSTALLED ANCHORS TO CONCRETE.

POST-INSTALLED ANCHORS TO CONCRETE: ANCHOR LOCATION, TYPE, DIAMETER AND EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS. REFERENCE THE POST INSTALLED ANCHORS SECTION FOR APPLICABLE POST-INSTALLED ANCHOR ADHESIVES. ANCHORS SHALL BE INSTALLED AND INSPECTED IN STRICT ACCORDANCE WITH THE APPLICABLE ICC-EVALUATION SERVICE REPORT (ESR). SPECIAL INSPECTION SHALL BE PER THE TESTS AND INSPECTIONS SECTION.

SHRINKAGE: CONVENTIONAL AND POST-TENSIONED CONCRETE SLABS WILL CONTINUE TO SHRINK AFTER INITIAL PLACEMENT AND STRESSING OF CONCRETE. CONTRACTOR AND SUBCONTRACTOR SHALL COORDINATE JOINTING AND INTERIOR MATERIAL FINISHES TO PROVIDE ADEQUATE TOLERANCE FOR EXPECTED STRUCTURAL FRAME SHRINKAGE AND SHALL INCLUDE. BUT NOT BE LIMITED TO: CURTAIN WALL, DRYVIT, STOREFRONT, SKYLIGHT, FLOOR FINISH, AND CEILING SUPPLIERS. CONTACT FNGINFFR FOR EXPECTED RANGE OF SHRINKAGE. FLOOR FINISHES: THE CONTRACTOR MUST PROVIDE AND CORRECTLY INSTALL AN ISOLATION MEMBRANE AND PROPERLY

DETAILED EXPANSION JOINTS TO HELP MINIMIZE CRACKING OF FINISHES WITH CEMENTITIOUS SETTING BEDS OR FINISH PROPERTIES (TILE, STONE, TERRAZZO, CONCRETE TOPPING, ETC). THE EXPANSION JOINTS SHALL BE SIZED FOR AN EXPECTED SHORTENING MOVEMENT OF 0.01 INCHES PER FOOT

TESTING: OBTAIN SAMPLES AND CONDUCT TESTS IN ACCORDANCE WITH ACI 301 SECTION 1.6.4.2. ADDITIONAL SAMPLES MAY BE REQUIRED TO OBTAIN CONCRETE STRENGTHS AT ALTERNATE INTERVALS THAN SHOWN BELOW. CURE 4 CYLINDERS FOR 28—DAY TEST AGE FOR TYPICAL CONCRETE: TEST 1 CYLINDER AT 7 DAYS. TEST 2 CYLINDERS AT 28 DAYS. AND HOLD 1 CYLINDER IN RESERVE FOR USE AS THE ENGINEER DIRECTS. AFTER 56 DAYS. UNLESS NOTIFIED BY THE ENGINEER TO THE CONTRARY, THE RESERVE CYLINDER MAY BE DISCARDED WITHOUT BEING

TESTED FOR SPECIMENS MEETING 28-DAY STRENGTH REQUIREMENTS. ACCEPTANCE: STRENGTH IS SATISFACTORY WHEN: A. THE AVERAGES OF ALL SETS OF 3 CONSECUTIVE TESTS EQUAL OR EXCEED THE SPECIFIED STRENGTH.

B. NO INDIVIDUAL TEST FALLS BELOW THE SPECIFIED STRENGTH BY MORE THAN 500 PSI. A "TEST" FOR ACCEPTANCE IS THE AVERAGE STRENGTH OF TWO 6 BY 12 IN. CYLINDERS OR THREE 4 BY 8 IN. CYLINDERS TESTED AT THE SPECIFIED TEST AGE.

CONCRETE PLACEMENT TOLERANCE: CONFORM TO ACI 117-10 FOR CONCRETE PLACEMENT TOLERANCE. FLOOR FLATNESS AND FLOOR LEVELNESS: ALL CONCRETE SLABS (INCLUDING SLABS ON GRADE) SHALL HAVE A MINIMUM FLOOR FLATNESS (FF) OF 20 AS MEASURED IN ACCORDANCE WITH ACL 117. CONCRETE SLABS THAT WILL RECEIVE WOOD FLOORING SHALL HAVE A MINIMUM FF OF 35. ALL CONCRETE SLABS ON GRADE SHALL HAVE A MINIMUM FLOOR LEVELNESS OF 20 AS MEASURED IN ACCORDANCE WITH ACI 117.

CONCRETE REINFORCEMENT

REFERENCE STANDARDS: REFER TO PROJECT SPECIFICATIONS. CONFORM TO: A. ACI 301-10 "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE", SECTION 3 "REINFORCEMENT AND

B. ACI SP-66-04 "ACI DETAILING MANUAL" INCLUDING ACI 315-99 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT."

C. CRSI MSP-09, 281H EDITION, "MANUAL OF STANDARD PRACTICE." ANSI/AWS D1.4 "STRUCTURAL WELDING CODE- REINFORCING STEEL."

IBC CHAPTER 19-CONCRETE ACI 318-11 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY". G. ACI 117-10 "STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS". SUBMITTALS: CONFORM TO ACI 301 SECTION 3.1.1 "SUBMITTALS, DATA AND DRAWINGS," SUBMIT PLACING DRAWINGS

SHOWING FABRICATION DIMENSIONS AND LOCATIONS FOR PLACEMENT OF REINFORCEMENT AND REINFORCEMENT SUPPORTS. ASTM A615, GRADE 60, DEFORMED BARS. REINFORCING BARS WELDABLE REINFORCING BARS ASTM A706, GRADE 60, DEFORMED BARS. SMOOTH WELDED WIRE FABRIC ASTM A185 DEFORMED WELDED WIRE FABRIC . BAR SUPPORTS... CRSI MSP-09, CHAPTER 3 "BAR SUPPORTS."

16 GAGE OR HEAVIER, BLACK ANNEALED. ASTM A1044, DECON OR APPROVED EQUIVALENT. HEADED DEFORMED BARS... FABRICATION: CONFORM TO ACI301, SECTION 3.2.2. "FABRICATION", AND ACI SP-66 "ACI DETAILING MANUAL." WELDING: BARS SHALL NOT BE WELDED UNLESS AUTHORIZED. WHEN AUTHORIZED, CONFORM TO ACI 301, SECTION

3.2.2.2. "WELDING" AND PROVIDE ASTM A706, GRADE 60 REINFORCEMENT. PLACING: CONFORM TO ACI 301, SECTION 3.3.2 "PLACEMENT." PLACING TOLERANCES SHALL CONFORM TO ACI 117. CAST-IN-PLACE CONCRETE COVER: CONFORM TO THE FOLLOWING COVER AND CORROSION PROTECTION REQUIREMENTS UNLESS NOTED OTHERWISE IN THE DRAWINGS:

REINFORCEMENT LOCATION MINIMUM COVER FOOTING BOTTOM REINFORCING FOOTING TOP REINFORCING 2" FROM TOP SLAB-ON-GRADE REINFORCING L1 AND L2 SLAB TOP REINFORCING L1 AND L2 SLAB BOTTOM REINFORCING L3 SLAB TOP REINFORCING L3 SLAB BOTTOM REINFORCING SHEAR WALLS BOUNDARY ELEMENTS 1-1/2" TO TIES WALLS NOT IN CONTACT WITH EARTH WALLS IN CONTACT WITH EARTH STAIRS TOP REINFORCING

STAIRS BOTTOM REINFORCING

SPLICES: CONFORM TO ACI 301, SECTION 3.3.2.7, "SPLICES". REFER TO "TYPICAL LAP SPLICE DEVELOPMENT LENGTH SCHEDULE" FOR TYPICAL REINFORCING SPLICES. REFER TO "COLUMN COLUMN VERTICAL REINFORCING SPLICE SCHEDULE" AND "SHEAR WALL REINFORCING SPLICE SCHEDULE" FOR THOSE SPECIFIC ELEMENTS. SPLICES INDICATED ON INDIVIDUAL SHEETS SHALL TAKE PRECEDENCE OVER THE SCHEDULE. MECHANICAL CONNECTIONS MAY BE USED WHEN APPROVED BY THE SER. FOR REINFORCING WITHIN THE LATERAL SYSTEM SHEAR WALLS AND REINFORCING CONNECTING THE DIAPHRAGM SLAB TO THE LATERAL SYSTEM, MECHANICAL SPLICE STRENGTH IS INCREASED TO DEVELOP 100 PERCENT OF THE SPECIFIED TENSILE STRENGTH OF THE SPLICES BAF

STUDRAILS: AS MANUFACTURED BY "DECON", INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS USING CHAIRS PROVIDED BY THE MANUFACTURER TO POSITION RAILS AT THE PROPER HEIGHT. STUDRAILS SHALL CONFORM TO

FIELD BENDING: CONFORM TO ACI 301, SECTION 3.3.2.8, "FIELD BENDING OR STRAIGHTENING". BAR SIZES #3 THROUGH #5 MAY BE FIELD BENT COLD THE FIRST TIME. OTHER BARS REQUIRED PREHEATING. DO NOT TWIST BARS. BARS SHALL NOT BE BENT PAST 45 DEGREES

TYPICAL CONCRETE REINFORCING: UNLESS NOTED ON THE PLANS, CONCRETE WALLS SHALL HAVE THE FOLLOWING MINIMUM REINFORCEMENT. CONTRACTOR SHALL CONFIRM MINIMUM REINFORCEMENT OF WALLS WITH SER BEFORE PRIOR TO REBAR

TABLE OF	MINIMUM CONC	CRETE WALL REIN	NFORCING
WALL THICKNESS	HORIZONTAL BARS	VERTICAL BARS	LOCATION
0'-8"	#4 AT 12" O.C.	#4 AT 12" O.C.	CENTER IN WALL
0'-8"	#5 AT 12" O.C.	#5 AT 12" O.C.	CENTER IN WALL
0'-10"	#4 AT 16" O.C. EF	#4 AT 16" O.C. EF	EF = EACH FACE
1'-0"	#4 AT 12" O.C. EF	#4 AT 12" O.C. EF	EF = EACH FACE

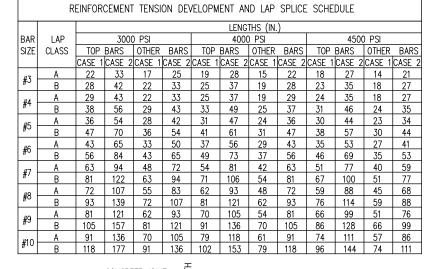
REINFORCING BAR DETAILING, BENDING, FABRICATION AND PLACEMENT SHALL CONFORM TO THE LATEST EDITION OF "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDING" (ACI 301) AND ACI DETAILING MANUAL (SP66). PROVIDE WWF IN FLAT SHEETS AND LAP A MINIMUM OF 14" AT SPLICÉS. PLACE WWF IN THE CENTER OF THE SLAB R 2" DOWN FROM THE TOP OF THE SLAB. PROVIDE CHAIRS AND SPACERS AS REQUIRED TO MAINTAIN WWF PLACEMENT AND SPECIFIED PROTECTIVE COVERING. PROVIDE CLASS B TENSION LAP SPLICES FOR HORIZONTAL AND VERTICAL WALL AND FOOTING REINFORCING, U.N.O.

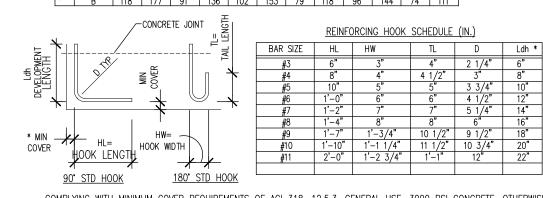
SPLICES NOT PERMITTED IN BEAM, JOIST, OR SLAB STEEL UNLESS SPECIFICALLY DETAILED OTHERWISE. TENSION SPLICES, WHEN PERMITTED, SHALL BE IN ACCORDANCE WITH ACI CODES AND SCHEDULES ON DRAWINGS. HE TABULATED TENSION LAP-SPLICE LENGTHS ARE CALCULATED PER ACI 318, FOR NON-SEISMIC, UNCOATED BARS, AND NORMAL WEIGHT CONCRETE. LENGTHS MUST BE ADJUSTED FOR NON-CONFORMING APPLICATIONS. CASES 1 AND 2, WHICH DEPEND ON THE TYPE OF STRUCTURAL ELEMENT, CONCRETE COVER, AND CENTER-TO-CENTER SPACING OF THE BARS ARE DEFINED AS (db = diameter of bar):

BEAMS OR COLUMNS:

CASE 1 - COVER AT LEAST 1.0 db AND CENTER-TO-CENTER SPACING AT LEAST 2.0 db CASE 2 - COVER SPACING LESS THAN 1.0db OR CENTER-TO-CENTER SPACING LESS THAN 2.0 db.

- COVER AT LEAST 1.0 db AND CENTER-TO-CENTER SPACING AT LEAST 3.0db. CASE 2 - COVER LESS THAN 1.0 db OR CENTER-TO-CENTER SPACING LESS THAN 3.0 db.





COMPLYING WITH MINIMUM COVER REQUIREMENTS OF ACI 318, 12.5.3, GENERAL USE, 3000 PSI CONCRETE, OTHERWISE EMBEDMENT LENGTH MUST BE RE-CALCULATED.







ASSOC.

WALTERS & ASSC STRUCTURAL ENG PRATER ENGINEE ∞ઇ⊔

DESIGN FOLON

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Sheet Reference:

GENERAL

GENERAL STRUCTURAL NOTES

REFERENCE STANDARDS: REFER TO PROJECT SPECIFICATION MANUAL. A. PERFORM ALL MASONRY CONSTRUCTION IN ACCORDANCE WITH ACI 530 / ASCE 5 / TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES"; CURRENT EDITION.

A. CONCRETE MASONRY UNITS: ASTM C90. (HOLLOW AND SOLID): NORMAL WEIGHT BLOCK ALL LOCATIONS, U.N.O. ON PLAN. (125 PCF DENSITY)

MINIMUM NET COMPRESSIVE UNIT STRENGTH=1900 PSI. CONCRETE BRICK: ASTM C55, GRADE N1 CLAY BRICK: BUILDING BRICK ASTM C62; FACE BRICK ASTM C216, GRADE SW (COLOR AND SIZE AS NOTED ON THE

JOINT REINFORCING: STANDARD "DUR-O-WAL", MILL GALVANIZED FINISH, OR APPROVED EQUIVALENT. BOND BEAM AND CORE FILL (GROUT): ASTM C476, COARSE TYPE, MINIMUM COMPRESSIVE STRENGTH 2000 PSI (28 DAYS).

ALL WALLS, FOUNDATION WALLS: TYPE S MORTAR, 28 DAY COMPRESSIVE STRENGTH 1800 PSI MIN.

A. PROVIDE HORIZONTAL JOINT REINFORCEMENT IN EVERY SECOND BLOCK COURSE. FULL HEIGHT. U.N.O. B. PROVIDE HORIZONTAL JOINT REINFORCEMENT WITHIN 16" ABOVE AND BELOW OPENINGS, EXTENDING 24" BEYOND

LAP HORIZONTAL REINFORCEMENT A FULL WIDTH AT CORNERS AND INTERSECTIONS. PROVIDE DOWELS FROM FOOTING, CONCRETE BEAM, OR SLAB; UNLESS DETAILED OTHERWISE. DOWEL SHALL BE STANDARD 90 HOOKED DOWEL, SIZE AND SPACING TO MATCH VERTICAL WALL REINFORCEMENT. LAP DOWEL WITH WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE

HORIZONTAL IN SIX VERTICAL. DOWELS SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCEMENT. PROVIDE APPROPRIATE REINFORCEMENT ALIGNING DEVICES AT A MAXIMUM SPACING OF 192 BAR DIAMETERS. G. UNLESS INDICATED OR DETAILED OTHERWISE, PROVIDE VERTICAL WALL REINFORCING AT THE FOLLOWING LOCATIONS:

P. ENDS OF WALLS S. EACH SIDE OF OPENINGS 4. EACH SIDE OF CONTROL JOINTS

. CORNER CONDITIONS

REINFORCING SHALL MATCH SPECIFIED ADJACENT WALL REINFORCING. H. UNLESS INDICATED OR DETAILED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM VERTICAL WALL REINFORCEMENT: EXTERIOR NON-BEARING WALL: #5 VERTICAL @ 32" O.C. TOP OF WALL TO BE BRACED PER TYPICAL DETAILS. INTERIOR NON-BEARING WALL: #4 VERTICAL @ 48" O.C. TOP OF WALL TO BE BRACED PER TYPICAL DETAILS. #5 VERTICAL @ 32" O.C.

A. PROVIDE CONTROL JOINTS AT LOCATIONS APPROVED BY ARCHITECT IN ALL MASONRY WALLS AND BRICK VENEER, U.N.O. B LINERS INDICATED OR DETAILED OTHERWISE. PROVIDE THE FOLLOWING MINIMUM CONTROL JOINT LOCATIONS: . MAXIMUM SPACING OF 25 FEET OR 3 TIMES THE WALL HEIGHT, WHICHEVER IS LESS. 2. ADJACENT TO CORNERS, AT CHANGES IN WALL HEIGHT AND AT CHANGES IN FOUNDATION CONDITIONS. S. DO NOT LOCATE CONTROL JOINTS WITHIN 16 INCHES OF OPENINGS UNLESS MASONRY ABOVE IS SUPPORTED FROM THE BUILDING FRAMING (MASONRY NOT SUPPORTED ON LINTEL BEARING ON MASONRY WALL). 4. DO NOT LOCATE CONTROL JOINTS IN WALLS IDENTIFIED AS "SHEAR WALLS" ON DRAWINGS.

A. PROVIDE LINTELS OVER ALL WALL OPENINGS, U.N.O. REFERENCE SCHEDULE ON DRAWINGS FOR SPECIFIED LINTELS, REFERENCE STEEL LINTEL SCHEDULE IN GENERAL NOTES FOR TYPICAL LINTEL REQUIREMENTS TO BE INSTALLED IF NO LINTEL SIZE IS SPECIFIED ON DRAWINGS.

A. PROVIDE 100% SOLID BEARING, MINIMUM 3 COURSES x 24" WIDE UNDER BEAMS AND LINTELS, 2 COURSES x 16" WD. UNDER JOISTS. UNLESS DETAILED OTHERWISE. FILL CORE SOLID AROUND ANCHOR BOLTS, FULL LENGTH OF ANCHOR, EXTEND 8" MIN. BELOW BOTTOM OF ANCHOR. SET WELD PLATES IN BOND BEAMS AFTER THE GROUT IS PLACED, BUT WHILE IT IS STILL PLASTIC. PROVIDE SOLID BLOCKS OR 100% GROUT FILLED HOLLOW BLOCKS AT ALL MECHANICAL ANCHOR LOCATIONS.

WHERE HOLLOW MASONRY UNITS ARE USED ABOVE HOLLOW MASONRY UNITS OF A DIFFERENT THICKNESS, PROVIDE A CONTINUOUS COURSE OF SOLID MASONRY AT LEAST 8" HIGH BELOW THE TRANSITION. F. PROVIDE CONTINUOUS COURSE OF SOLID MASONRY AT ELEVATION OF EXTERIOR GRADE, TYPICAL. THE TOP OF THE SOLID COURSE SHALL APPROXIMATE TOP OF EXTERIOR GRADE ELEVATION AND SHALL COORDINATE WITH ARCHITECTURAL G. ALL CORNERS AND INTERSECTIONS OF STRUCTURAL MASONRY WALLS SHALL BE INTERLOCKING (LACED) COURSES, U.N.O.

H. BOND BEAM BLOCK UNITS SHALL HAVE OPEN BOTTOMS WHEN LOCATED IN WALL CONSTRUCTION. PROVIDE SOLID BOTTOM UNITS OVER OPENINGS: TYP CHLORIDE ADMIXTURES OR ANTIFREEZE COMPOUNDS ARE NOT PERMITTED TO BE USED. PROVIDE APPROPRIATE MASONRY ANCHORS AT 16" O.C. MAX. TO TIE MASONRY TO ABUTTING VERTICAL STEEL AND

K. PROVIDE TEMPORARY LATERAL BRACING FOR MASONRY WALLS DURING CONSTRUCTION AND UNTIL LATERAL SUPPORTS AND DIAPHRAGMS HAVE BEEN ATTACHED AND GROUT HAS ATTAINED THE SPECIFIED DESIGN STRENGTH. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY WALLS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

KEEP AIR SPACE (CAVITY) BEHIND VENEER FREE OF MORTAR DROPPINGS SEE TYPICAL MASONRY DETAILS FOR ADDITIONAL MASONRY INSTALLATION REQUIREMENTS. SLEEVE ALL PLUMBING, ELECTRICAL, AND FIRE PROTECTION PENETRATIONS THRU WALLS Q. SUBMITTALS: REFER TO PROJECT SPECIFICATION MANUAL.

SEE POST INSTALLED ANCHOR NOTES FOR ANCHOR TYPE AND INSTALLATION REQUIREMENTS.

STRUCTURAL STEEL

ASTM A992. Fy = 50 ksi

ASTM A36. Fv = 36 ksi.

ASTM A36. Fv = 36 KSI

ASTM A500, GRADE B, Fy = 46 KSI.

ASTM A500, GRADE B, Fy = 42 KSI.

ASTM A53, GRADE B, Fy = 35 KSI.

ASTM A436 (REQUIRED AT SLOTTED & OVERSIZE HOLES)

ASTM A325/F1852, TYPE 1, PLAIN

ASTM F1554 GR. 55 (WELDABLE)

. SPECIFICATIONS AND QUALIFICATIONS:

A. ALL FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC MANUAL OF STEEL B. ALL STRUCTURAL STEEL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER AND BE IN ACCORDANCE WITH AWS, STRUCTURAL WELDING CODE D1.1. UNLESS SPECIFICALLY NOTED OTHERWISE.

. MATERIALS: WIDE FLANGE (W). TEE (WT) SHAPES:

STRUCTURAL (S), (M) & (HP) SHAPES: ANGLES (L), CHANNELS (C), PLATES (PL): HOLLOW STRUCTURAL SECTION - SQUARE/RECT (HSS): HOLLOW STRUCTURAL SECTION - ROUND (HSS): HIGH STRENGTH BOLTS: WASHERS (FLAT OR BEVELED):

ANCHOR RODS: THREADED RODS: HEADED ANCHOR STUDS: WELDING ELECTRODES:

ASTM A108 Fv = 60 KSL E70XX, E71TXX, UNLESS NOTED OTHERWISE. 6. CONNECTIONS: A. FIELD CONNECTIONS TO BE BOLTED, EXCEPT AS OTHERWISE INDICATED. SHOP CONNECTIONS TO BE WELDED OR BOLTED. CONNECTIONS TO BE DESIGNED BY THE FABRICATOR TO DEVELOP FULL STRENGTH OF MEMBER OR FORCES SHOWN ON PLANS, WHICHEVER GOVERNS. FOLLOW INSTRUCTIONS ON DRAWINGS FOR GENERAL ARRANGEMENT OR

B. CONNECTIONS SHOWN AND DETAILED ON THE DRAWINGS MAY BE REDESIGNED BY THE STRUCTURAL STEEL CONTRACTOR

FOR EQUAL FORCES PROVIDED THE SAME ARRAMNGEMENT OF MEMBERS IS USED AND THE OVERALL SIZE OF THE CONNECTION DOES NOT EXCEED THAT OF THE CONNECTION DETAILED ALL BOLTED CONNECTIONS SHALL USE 3/4"Ø BOLTS, INSTALLED SNUG-TIGHT. PER AISC REQUIRMENTS. U.N.O. ALL BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLTS, U.N.O. PROVIDE STANDARD HARDENED WASHERS FOR ALL CONNECTIONS WITH STANDARD, OVERSIZE, AND SHORT-SLOTTED HOLES. FOR LONG-SLOTTED HOLES PROVIDE WASHERS OR A CONTINUOUS BAR OF SUFFICIENT SIZE TO COMPLETELY COVER THE SLOT. PLATE WASHERS OR BARS TO BE A MINIMUM OF 5/16" THICK FOR LONG-SLOTTED HOLES. INSTALL HEAVY WASHERS AT ALL ANCHOR ROD/BOLT LOCATIONS.

FOR WELDING SYMBOLS WITH NO LENGTH DIMÉNSION GIVEN, THE WELD SHALL BE CONTINUOUS BETWEEN ABRUPT CHANGES IN DIRECTION. WELDS NOT OTHERWISE NOTED SHALL BE 1/4" IN SIZE.

4. SHOP PAINT / FINISH:

A. PAINT ALL INTERIOR STEEL WITH ONE COAT OF FABRICATOR'S STANDARD PRIMER.

DO NOT PAINT ANCHOR BOLTS WHICH WILL BE ENCASED IN CONCRETE OR MASONRY. DO NOT PAINT STEEL THAT WILL RECEIVE SPRAYED ON FIRE-PROOFING, U.N.O., ALL EXTERIOR, EXPOSED ANCHOR RODS, ANCHOR BOLTS, AND HIGH STRENGTH BOLTS ARE TO BE HOT-DIP GALVANIZED INCLUDING NUTS AND WASHERS.

TO ACCEPT A PAINTED FINISH PER ASTM D6386, 'PRACTICE FOR PREPARATION OF ZINC (HOT-DIPPED GALVANIZED) COATED IRON AND STEEL PRODUCT AND HARDWARE SURFACES FOR PAINTING'. G. GALVANIZED STEEL: ALL STEEL COMPONENTS INDICATED TO BE GALVANIZED, HOT DIP GALVANIZED, OR HDG ARE TO BE COATED PER THE

F. ALL EXTERIOR BRICK LINTELS OR STEEL PLATES SUPPORTING BRICK VENEER OR BRICK LINTELS, ARE TO BE GALVANIZED

FOLLOWING MINIMUM STANDARDS STRUCTURAL STEEL: FASTENERS: ASTM A 153

GALVANIZED STEEL TO BE FINISHED PAINTED: ASTM A 123 50% MORE THAN THE SURROUNDING COATING THICKNESS.

ALL FIELD WELDING OF GALVANIZED MEMBERS ARE TO BE CLEANED AND COATED WITH COLD GALVANIZING COMPOUND. COLD GALVANIZING COMPOUNDS ARE TO HAVE MIN. 92% METALLIC ZINC CONTENT AND THE APPLICATION IS TO BE

. MISCELLANEOUS:

ENGINEER BEFORE PROCEEDING. PROVIDE BOLT HOLES FOR WOOD NAILERS AND JOISTS BOLTED TO BEAMS. MILL FINISH ENDS OF ALL COLUMNS. STIFFENERS AND ALL OTHER MEMBERS IN DIRECT BEARING. GROUT UNDER BEARING PLATES TO BE NON-SHRINKING TYPE. EXPOSED GROUT SHALL BE NON-METALLIC. GROUT SHALL INSTALLED FILLING VOIDS UNDER PLATES 100% SOLID. STEEL BELOW GRADE TO BE PROTECTED BY A MIN. OF 3" OF CONCRETE OR 4" OF MASONRY, OR APPROVED COATING. MINIMUM BEAM BEARING ON MASONRY = 8"; U.N.O. PROVIDE 1/4" THICK SETTING PLATES FOR ALL BEAMS BEARING ON MASONRY OR CONCRETE WHICH DO NOT REQUIRE A

A. PROVIDE HOLES FOR OTHERS. IF OPENING IS NOT SHOWN ON THE STRUCTURAL DRAWINGS, OBTAIN APPROVAL FROM

BEARING PLATE. ANCHOR THE SETTING PLATE WITH (2) 1/2" ★ 0'-5" LG. HEADED STUDS. SET PLATE WHILE CONCRETE OR MASONRY IS STILL PLASTIC FIELD CORRECTIONS BY GAS CUTTING IS NOT PERMITTED IN MAJOR MEMBERS WITHOUT SPECIFIC APPROVAL.

GUSSET AND STIFFENER PLATES SHALL BE A MINIMUM OF 3/8" THICK, U.N.O. WHERE TREATED WOOD IS IN CONTACT WITH STRUCTURAL STEEL, PROVIDE A BARRIER OF "ICE AND WATER SHIELD" BY GRACE CONSTRUCTION PRODUCTS, OR APPROVED FOUAL, FOR CORROSION PROTECTION. J. FASTENERS IN CONTACT WITH PRESSURE AND/OR FIRE TREATED LUMBER SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, OR HAVE APPROVED PROTECTIVE FINISH.

LIGHT GAUGE METAL FRAMING

SPECIFICATIONS AND REFERENCE STANDARDS: UNLESS SPECIFICALLY NOTED OR SHOWN OTHERWISE, DESIGN, FABRICATION, ERECTION, HANDLING AND BRACING REQUIREMENTS ARE TO BE GOVERNED BY THE LATEST REVISIONS OF: A. A.I.S.I. "SPECIFICATION OF THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."

STRUCTURAL WELDING CODE, AWS D1.3 OF THE AMERICAN WELDING SOCIETY. C. ALL STRUCTURAL FRAMING PRODUCTS SHALL BE IN CONFORMANCE TO THE MINIMUM REQUIREMENTS OF ASTM C955.

A. 16 GA. AND HEAVIER MEMBERS SHALL BE 50 KSI MIN. MATERIAL.

B. 18 GA. AND LIGHTER MEMBERS SHALL BE 33 KSI MIN. MATERIAL. ALL SUPPORT CLIPS AND CLIP ANGLES ARE TO BE 16 GA. MIN., 50 KSL. UNLESS NOTED OTHERWISE. ALL TRACKS ARE TO BE 16 GA. MIN., 33 KSL., UNLESS NOTED OTHERWISE. MEMBER PROPERTIES USED FOR DESIGN ARE BASED UPON SSMA (STEEL STUD MANUFACTURES ASSOCIATION) ICBO

ER-4943P PRODUCT IDENTIFICATION AND MEMBER PROPERTIES PER THE FOLLOWING: - MEMBER THICKNESS S-200 2 5/8 C 350 2 1/3" 5/8" -FLANGE WIDTH - MEMBER WIDTH DELIVERED THICKNESS | DELIVERED THICKNESS | THICKN

SUPPLIED MATERIAL SHALL MMET OR EXCEED THE MINIMUM PROPERTIES OF SSMA ICBO ER-4943P.

A. FIELD CONNECTIONS MAY BE EITHER WELDED OR SCREWED, UNLESS SPECIFICALLY NOTED OTHERWISE. UNLESS SPECIFIED OTHERWISE, THE MINIMUM MECHANICAL FASTENER IS TO BE SELF TAPPING #10-16 SCREWS MANUFACTURED AND TESTED BY ITW BUILDEX. A MINIMUM OF 1/2 INCH EDGE DISTANCE AND SCREW SPACING IS REQUIRED. UNI ESS NOTED OTHERWISE ON THE DRAWINGS, SCREW PENETRATION THROUGH JOINED MATERIALS SHALL NOT BE LESS THAN THREE EXPOSED THREADS. SELECT SCREWS WITH AN ADEQUATE CUTTING TIP TO ACCOMMODATE THE TOTAL THICKNESS TO BE DRILLED. DRILLING MUST BE COMPLETED BEFORE THE THREADS ENGAGE THE MATERIAL WHERE SCREW ATTACHMENTS ARE MADE TO FRAMING COMPONENTS OF DIFFERENT THICKNESSES, THE THINNEST COMPONENT MUST BE PENETRATED FIRST.

MINIMUM WELD THROAT THICKNESS (T) MUST MATCH OR EXCEED THE BASE STEEL THICKNESS OF THE THINNEST CONNECTED PART UNLESS NOTED OTHERWISE. MINIMUM WELD 1/8", 60 KSI WELD MATERIAL, U.N.O. THE FRAMING CONTRACTOR MAY SUBSTITUTE FASTENERS OF EQUIVALENT SPECIFICATIONS AND LOAD CARRYING

CAPACITIES. PRIOR TO INSTALLATION, SUBMIT FOR APPROVAL TO THE ENGINEER.

A. ALL MATERIAL TO BE GALVANIZED COATED IN ACCORDANCE WITH ASTM A525 G-60. B. FIELD WELDS ARE TO BE CLEANED AND PAINTED WITH ZINC RICH PAINT.

A. ALL MATERIAL TO BE GALVANIZED COATED IN ACCORDANCE WITH ASTM A525 G-60.ALL FRAMING COMPONENTS SHALL BE CUT SQUARELY FOR ATTACHMENT TO PERPENDICULAR MEMBERS OR AS REQUIRED FOR ANGULAR FIT AGAINST MEMBERS. MEMBERS SHALL BE HELD POSITIVELY IN PLACE UNTIL PROPERLY FASTENED. ALL FIELD CUTTING OF MEMBERS MUST BE DONE BY SAWING OR SHEARING. TORCH CUTTING OF COLD FORMED

NO SPLICES IN STUDS, JOISTS, OR OTHER LOAD CARRYING MEMBERS MAY BE MADE WITHOUT PRIOR ENGINEERING REVIEW AND SPECIFIC DETAILS FOR ANY SUCH SPLICES.

WHERE STEEL JOIST, STUD, AND/OR TRACK IS USED FOR A BEAM, GIRDER, OR HEADER APPLICATION, THE MEMBER SHALL BE CONTINUOUS AND HAVE UNPUNCHED WEBS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SPECIFY UNPUNCHED MEMBERS WHEN ORDERING MATERIALS. THE TRACK IS NOT PERMITTED TO BE SPLICED IN COMPOSITE MEMBERS (HEADERS, BOX BEAMS). PERMANENT MECHANICAL BRACING/BRIDGING:

1.) INSTALL CONTINUOUS BRIDGING AT 4'-0" O.C. FOR VERTICAL LOAD BEARING STUD WALLS, U.N.O. INSTALL CONTINUOUS BRIDGING AT 6'-0" O.C. FOR CURTAIN WALLS, U.N.O.

AT LOAD BEARING WALLS, MECHANICAL BRIDGING SHALL BE TERMINATED AND CONNECTED TO STRUCTURAL STEEL MEMBERS, CONCRETE WALLS, OR MASONRY WALLS, UNLESS NOTED OTHERWISE. INSTALL DEFLECTION TRACKS AND/OR CLIPS AT ALL STUDWALL SUPPORT CONNECTIONS TO THE STRUCTURAL STEEL RAMING, PRECAST CONCRETE FRAMING, CONCRETE FRAMES.

TRACKS SHALL BE SECURELY ANCHORED TO FLOOR AND OVERHEAD STRUCTURES AS INDICATED AND AT THE ENDS OF EACH TRACK SECTION. TWO ANCHORS MINIMUM PER TRACK SECTION, ANCHORS SHALL BE INSTALLED NO MORE THAN MULTIPLE MEMBER STUD COLUMNS ARE TO HAVE 1" OF FILLET WELD VERTICALLY SPACED AT 18" O.C., EACH SIDE OF MEMBER, FULL HEIGHT OF COLUMN.

STRUCTURAL LUMBER

SPECIFICATIONS: UNLESS NOTED OR SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY A. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (AMERICAN WOOD COUNCIL). U.S. PRODUCT STANDARD PS-1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. APA DESIGN/CONSTRUCTION GUIDE - RESIDENTIAL AND COMMERCIAL.

QUALITY CONTROL - REQUIRED SPECIAL INSPECTIONS AND TESTING

GENERAL

A. THE SPECIAL INSPECTOR SHALL USE ONLY BUILDING DIVISION APPROVED DRAWINGS. ONLY THE TESTING AGENCY, SPECIAL INSPECTOR SHOULD TAKE SAMPLES AND TRANSPORT THEM TO THEIR LABORATORY. COPIES OF ALL LABORATORY REPORTS AND INSPECTIONS ARE TO BE SENT DIRECTLY TO THE BUILDING DEPARTMENT, DIVISION ON A WEEKLY BASIS OR AFTER THE INSPECTIONS ARE PERFORMED. COPIES SHALL ALSO BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD

ALL NON-CONFORMING INSTALLATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION. THE SPECIAL INSPECTOR IS RESPONSIBLE TO THE CHIEF BUILDING OFFICIAL FOR IMMEDIATE NOTIFICATION OF ANY CONCERNS AND/OR PROBLEMS ENCOUNTERED. THE SPECIAL INSPECTION SHALL FURNISH/COPY ALL REPORTS AND PROJECT CORRÉSPONDANCE TO THE GOVERNING BUILDING DIVISION, PROJECT CONSTRUCTION MANAGER, PROJECT ARCHITECT, PROJECT ENGINEER.

THE CONSTRUCTION MANAGER, ON BEHALF OF THE OWNER, SHALL COORDINATE AND PROVIDE ALL INSPECTIONS AND TESTING, UNLESS STATED OTHERWISE IN THE CONTRACT DOCUMENTS.

SPECIAL INSPECTIONS	<u>APPLICABILITY</u>	FREQUENCY	REFERENCE STANDARD
FABRICATOR APPROVAL (OBC 1704.2): 1) PRECAST CONCRETE COMPONENTS	YES	PERIODIC	INDUSTRY TRADE ASSOCIATION PROGRAM

PRE-ENGINEERED WOOD FLOOR JOISTS PRE-ENGINEERED WOOD ROOF TRUSSES	YES YES	PERIODIC PERIODIC	11
STEEL (OBC 1704.3):			
1) MATERIAL VERIFICATION OF HIGH STRENGTH BOLTS, NUTS, WASHERS	YES	PERIODIC	AISC A3.3, A3.4
2) INSPECTION OF HIGH STRENGTH BOLTING (BEARING)	YES	PERIODIC	AISC 360 M2.5
3) MATERIAL VERIFICATION OF STRUCTURAL STEEL	YES		ASTM A 6 OR ASTM
4) MATERIAL VERIFICATION OF WELD FILLER MATERIALS	YES		AISC A3.5, A3.6
5a) INSPECTION OF WELDING, STRUCTURAL STEEL			
COMPLETE AND PARTIAL PENETRATION GROOVE WELDS	YES	CONTINUOUS	AWS D1.1
MULTIPASS FILLET WELDS	YES	CONTINUOUS	AWS D1.1
SINGLEPASS FILLET WELDS > 5/16X	YES	PERIODIC	AWS D1.1
SINGLEPASS FILLET WELDS_< 5/16X	YES	PERIODIC	AWS D1.1
FLOOR AND ROOF DECK WELDS	NO	PERIODIC	AWS D1.3
5b) INSPECTION OF WELDING, REINFORCING STEEL	NO		

6) INSPECTION OF STEEL FRAME JOINT DETAILS CONCRETE (OBC 1704.4):

REQUIRED VERIFICATIONS PERIODIC ACI 318, 3-5, 7.1-7.7 INSPECTION OF REINFORCING STEEL PERIODIC ACI 318 4, 5.2-5.4 VERIFY USE OF REQUIRED DESIGN MIX CONTINUOUS ASTM C172, C31, ACI 318 CONC. SUMP AND AIR CONTENT. TEMPERATURE CONCRETE PLACEMENT FOR PROPER APPLICATION CONTINUOUS ACI 318 5.9. 5.10 MAINTENANCE OF CURING PERIODIC ACI 318 5.11-5.13 PERIODIC ACI 318 16 PRECAST CONCRETE VERIFICATION OF IN-SITU STRENGTH PRIOR TO FORM REMOVAL PERIODIC ACI 318 6.2 FORMWORK ALIGNMENT, TOLERANCES YES PERIODIC ACI 318 5.11-5.13

MASONRY UNITS (OBC 1704.5):

SPECIFIED SPECIAL INSPECTION (LEVEL I, PARTIAL) 4a) VERIFYING USE OF REQUIRED MORTAR MIX DESIGN YES PERIODIC ACI 530.1 2.6A 4c/5c) VERIFYING PLACEMENT AND SPLICING OF REINFORCEMENT STEEL COLD. HOT WEATHER CONSTRUCTION PROPORTIONS OF GROUT MIX GROUT PLACEMENT

SOILS (OBC 1704.7):

1) VERIFY MATERIALS BELOW FOOTINGS ADEQUATE TO DESIGN BEARING VERIFY DEPTH OF EXCAVATIONS, PROPER MATERIALS CLASSIFICATION AND TESTING OF CONTROLLED FILL VERIFY MATERIALS, DENSITIES, LIFT THICKNESS OF CONTROLLED FILL YES CONTINUOUS GEOTECHNICAL REPORT BEFORE CONTROLLED FILL, VERIFY SITE PREP FIRE-RESISTANT MATERIALS (OBC 1704.12. 1704.13):

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)

YES PERIODIC ACI 530.1 3.4, 3.6A PERIODIC ACI 530.1 1.8C, 1.8D PERIODIC ACI 530.1 2.6B CONTINUOUS ACI 530.1 3.5 PERIODIC GEOTECHNICAL REPORT PERIODIC GEOTECHNICAL REPORT PERIODIC GEOTECHNICAL REPORT YES PERIODIC GEOTECHNICAL REPORT YES PERIODIC PRODUCT SPECIFICATION

YES PERIODIC PRODUCT SPECIFICATION

YES PERIODIC CONFORM TO APPR. DOCS

ASSOCIATION

STEEL JOISTS, JOIST GIRDERS

A. STEEL JOISTS AND JOIST GIRDERS SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE STEEL JOIST INSTITUTE (SJI) STANDARDS AND SPECIFICATIONS AS REFERENCED IN THE APPLICABLE BUILDING CODE. B. JOIST MANUFACTURER TO BE A MEMBER OF (SJI) UNLESS APPROVED OTHERWISE BY ENGINEER OF RECORD.

A. THE STEEL JOIST MANUFACTURER SHALL DESIGN ALL JOISTS, JOIST GIRDERS, AND BRIDGING. THE MANUFACTURER'S ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ALL JOISTS AND RELATED

A. EXTEND ALL JOISTS 1" MINIMUM PAST CENTERLINE OF SUPPORTING MEMBER, WHERE POSSIBLE. BEARINGS TO BE PER DRAWINGS, OR WHERE SPECIAL INSTRUCTION IS NOT GIVEN, ACCORDING TO THE STANDARD SPECIFICATIONS OF (SJI). WELD ALL JOIST TO SUPPORTING STEEL OR BEARING PLATES, U.N.O. IF WELD REQUIREMENTS ARE NOT DETAILED ON DRAWINGS PROVIDE THE FOLLOWING MINIMUM WELD: 1.) K-SERIES JOISTS: 2" OF 1/8" FILLET WELD, EA. SIDE.

LH-SERIES JOISTS, GIRDERS: 2 1/2" OF 1/4" FILLET WELD, EA. SIDE C. SÉE DRAWINGS FOR SEAT DEPTH REQUIREMENTS, SPECIAL BEARING SHOES, TOP CHORD EXTENSIONS, ETC.

A. STEEL JOIST MANUFACTURER SHALL FABRICATE JOISTS CONNECTIONS AT COLUMNS IN ACCORDANCE WITH FEDERAL REGISTER 29 CFR 1926 AND OSHA SUBPART R REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING MINIMUM REQUIREMENTS: 1.) FIELD BOLT JOISTS AT COLUMN LINES. IF JOIST DOES NOT ALIGN WITH COLUMN, FIELD BOLT THE JOIST NEAREST THE COLUMN, EACH SIDE OF COLUMN. 2.) EXTEND ALL BOTTOM CHORDS OF JOISTS TO COLUMNS. DO NOT WELD JOISTS EXTENSIONS TO STABILIZER PLATE UNLESS DETAILED OTHERWISE ON DRAWINGS

A. INSTALL BRIDGING AS SHOWN ON THE CONTRACT DRAWINGS, BUT NOT LESS THAN THAT REQUIRED BY (SJI). UNLESS NOTED, PROVIDE THE FOLLOWING:

JOIST SUPPLIER SHALL FURNISH ALL BRIDGING AND BOLTS RELATED TO BRIDGING CONNECTIONS. U.N.O.

B. JOIST SUPPLIER SHALL FURNISH ALL BOLTS RELATED TO JOIST CONNECTIONS, U.N.O.

a) USE HORIZONTAL BRIDGING FOR K-SERIES (EXCEPT USE DIAGONAL CENTER ROW FOR SPANS OVER 40 FEET, AND WHERE REQUIRED BY SJI). b) HORIZONTAL BRIDGING MAY BE WELDED TO THE JOISTS. DIAGONAL BRIDGING SHALL BE BOLTED TO JOISTS.

2.) LH- AND DLH- SERIES: a) FOR SPANS UP TO 40 FEET, USE HORIZONTAL BRIDGING, EXCEPT AS SHOWN OTHERWISE. b) FOR SPANS BETWEEN 40 AND 60 FEET INCLUSIVE, USE DIAGONAL BRIDGING FOR CENTER ROW AND HORIZONTAL BRIDGING FOR REMAINING ROWS.

c) FOR SPANS OVER 60 FEET, USE DIAGONAL BRIDGING. B. DIAGONAL BRIDGING SHALL BE PROVIDED BETWEEN ADJACENT JOISTS WHENEVER BOTTOM CHORD HORIZONTAL BRIDGING IS DISCONTINUOUS HORIZONTAL BRIDGING IN NO MORE THAN 2 CONSECUTIVE BAYS MAY BE USED TO PROVIDE PASSAGE FOR DUCT

DIAGONAL BRIDGING TO BE BOLTED TO THE JOISTS AND AT THE POINT OF INTERSECTION. END BAYS OF DIAGONAL BRIDGING TO BE ANCHORED WITH HORIZONTAL BRIDGING, UNLESS SHOWN OTHERWISE. ANCHOR BRIDGING TO INTERSECTING STRUCTURAL STEEL OR MASONRY WALLS.

DEFLECTION CRITERIA:

VERTICAL/LIMIT (L IS SPAN LENGTH, INCHES) ROOFS. 0' - 40'-0" SPANS (L):

L/360 ROOFS, 41'-0" AND GREATER SPANS (L): L/360 OR 3 1/2" MAXIMUM ROOFS, JOISTS SUPPORTING RIGID CEILINGS: L/360 OPERABLE PARTITION SUPPORT MEMBERS: L/600 OR 1/2" MAXIMUM JOISTS PARALLEL TO BEARING WALLS AND CMU WALLS, LOCATED WITHIN 2 FEET FROM WALL: L/360 OR 1" MAXIMUM

A. JOIST MANUFACTURERS SHALL DESIGN THE COMPRESSION CHORD OF ALL JOIST SUPPORTING ROOF TOP UNITS, SKY LIGHTS, AND OTHER STRUCTURES FOR AN UNBRACED LENGTH APPLICABLE TO THE CONDITIONS AT THE PROJECT WHERE THE UNBRACED LENGTH IS GREATER THAN THE SJI MAXIMUM. B. SPECIAL JOISTS AND JOIST GIRDERS THAT REQUIRE SPECIFIC ORIENTATION SHALL BE TAGGED AT ONE END. DEFINE LOCATION OF TAGGED END ON ERECTION DRAWINGS ADJACENT JOISTS OF THE SAME DEPTH ARE TO HAVE WEB MEMBERS IN LINE TO PERMIT PASSAGE OF MECHANICAL

WHERE JOISTS ARE PARALLEL TO AND NEAR WALLS, 50 FEET OF LESS IN LENGTH, PROVIDE A MAXIMUM OF 1/2" CAMBER AND FOR JOIST GREATER THAN 50 FEET, PROVIDE A MAXIMUM 3/4" CAMBER. FIFLD DRILLING HOLFS IN JOISTS IS NOT PERMITTED.

ALL ITEMS SUCH AS MECHANICAL EQUIPMENT, DUCT WORK, PIPES, CEILING FIXTURES. ETC. THAT ARE TO BE SUPPORTED OR HUNG FROM THE STEEL JOIST SHALL BE FRAMED WITH AUXILLARY FRAMING TO THE PANEL POINTS $^\circ$ THE STEEL JOIST. METHODS OF FRAMING THAT INDUCE BENDING STRESSES TO THE STEEL JOIST CHORDS OR WEB MEMBERS WILL NOT BE PERMITTED. REFERENCE TYPICAL DETAILS ON DRAWINGS FOR APPROVED JOIST REINFORCEMENT AT CONCENTRATED LOAD LOCATIONS JOISTS SHALL BE DESIGNED FOR A NET WIND UPLIFT LOAD OF 15 PSF UNLESS NOTED OTHERWISE. H. DESIGN JOIST AND JOIST GIRDERS FOR INTERNAL ROOF DRAINLINE LOCATIONS, AS REQUIRED, AT 50 PLF FOR 8" DIAMETER AND SMALLER, AT 75 PLSF FOR 10" DIAMETER, AT 102 PLF, FOR 12" DIAMETER. REFERENCE MECHANICAL

STEEL LINTEL REQUIREMENTS

PROVIDE STEEL LINTELS OVER ALL OPENINGS IN MASONRY WALLS AND BRICK VENEER UNLESS NOTED OTHERWISE REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZES AND LOCATIONS OF OPENINGS. FOR STANDARD LINTELS, USE THE APPROPRIATE LINTEL FROM THE SCHEDULE BELOW. FOR NUMBERED LINTELS, SEE SCHEDULE ON

2. PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS, AND USE 6" MINUMUM BEARING EACH END. FOR BEAM LINTELS, STOP BOTTOM PLATE 1/8" SHORT OF JAMBS, AND USE 8" MINIMUM BEARING EACH END.

3. LINTEL SIZING (U.N.O.): MASONRY ROUGH OPENING L 3-1/2 X 3-1/2 X 5/16 4'-1"T0 5'-6" L 4 X 3-1/2 X 5/16 LLV 5'-7" TO 6'-6" L 5 X 3-1/2 X 5/16 LLV 6'-7" TO 8'-0" L 6 X 3-1/2 X 5/16 LLV 8'-1" TO 10'-0" W8 X 18 W/PL 5/16 X (WALL "T"-1/2") 10'-1" TO 12'-0" W8 X 21 W/PL 5/16 X (WALL "T"-1/2")

METAL DECKING

SPECIFICATIONS AND QUALIFICATIONS: A. TALL METAL DECKING SHALL DE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF AISI, SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AND SDI DESIGN MANUAL FOR B. ALL STRUCTURAL STEEL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER AND BE IN ACCORDANCE WITH AWS, STRUCTURAL WELDING CODE D1.1. UNLESS SPECIFICALLY NOTED OTHERWISE.

TYPE: STEEL FOR GALVANIZED METAL DECK ASTM A 653, G60, COMMERCIAL QUALITY, GALVANIZED RUST-INHIBITIVE PAINT

A. COORDINATE SIZES AND LOCATIONS OF OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. B. FOR OPENINGS LARGER THAN 12" X 12", PROVIDE STEEL FRAME REINFORCEMENT PER TYPICAL DETAILS ON DRAWINGS. C. FOR OPENINGS LESS THAN 12" X 12", REINFORCE WITH 24" X 24" X 16 GA. STEEL SHEET, SCREWED OR WELDED TO THE DECK RIBS ON ALL SIDES OF THE OPENING, U.N.O. D. CUT AND FIT NEATLY AROUND PENETRATIONS: PROVIDE ADDITIONAL FRAMING, REINFORCEMENT AND CLOSURE PIECES TO MAINTAIN STRUCTURAL CONTINUITY. ANCHOR CLOSURE STRIPS AT ENDS, EDGES, AND PENETRATIONS. 4. ATTACHMENT:

B. FASTEN DECK TO SUPPORTING MEMBERS IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS. IF NO ATTACHMENT REQUIREMENTS ARE DETAILED OR NOTED, PROVIDE 36/4 FASTENING PATTERN, 5/8" PUDDLE WELDS. DECK WELDING SHALL CONFORM TO ANSI/AWS D1.3 FOR SHEET SEEL.

. MISCELLANEOUS: A. FORM TO SPAN AT LEAST 3 SUPPORTS AND WITH 2 INCH LAPS. PLACE DECK FLAT, SQUARE AND WITH CELLS PROVIDE 12" X 20 GAGE CONTINUOUS GALVANIZED STEEL BUTT STRIP WHERE DECK CHANGES DIRECTION.

PROVIDE FLEXIBLE RUBBER CLOSURES BETWEEN FLUTES OF METAL DECKING AND MASONRY FIRE WALLS. PROVIDE STEEL LEDGER ANGLE 2-1/2" X 2-1/2" X 1/4" AT STEEL COLUMNS AS REQUIRED FOR SUPPORT OF METAL DECKING. WELD ANGLE TO CÓLUMN; TYF TOUCH-UP DAMAGED COATINGS WITH PRIMER OR GALVANIZED REPAIR PAINT.

ALL WELDS AND BURN AREAS SHALL BE CLEANED AND PAINTED WITH AN APPROVED PAINT. DO NOT HANG ITEMS OTHER THAN SUSPENDED CEILINGS FROM THE UNDERSIDE OF METAL DECKS, UNLESS H. WHERE TREATED WOOD BLOCKING IS IN CONTACT WITH METAL ROOF DECK, PROVIDE A BARRIER OF "ICE AND WATER

SHIELD" BY GRACE CONSTRUCTION PRODUCTS, OR APPROVED EQUAL, FOR CORROSION PROTECTION.

CONTINGENCIES

THE CONTRACTOR IS TO PROVIDE AN ALLOWANCE IN THE BASE BID FOR THE CONTINGENCIES SPECIFIED IN THIS SECTION. THE CONTINGENCIES ARE TO INCLUDE ALL COSTS ASSOCIATED WITH THE INSTALLATION OF THE STRUCTUAL COMPONENT. THIS INCLUDES BUT IS NOT LIMITED TO, THE FOLLOWING: CONSTRUCTION MANAGEMENT FEES, MATERIAL, DETAILING, FABRICATION, SHIPPING, INSTALLATION, AND INSPECTION COSTS.

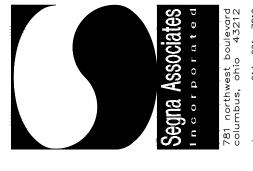
. CONCRETE: 5 C.Y.

REINFORCING STEEL: 100 FEET, #6 BAR 5. STRUCTURAL STEEL: 3.0 TONS

A. ATTACH DECK TO SUPPORT MEMBERS FROM TOP SIDE ONLY.

6. C.F.M.F.: (30) 600-S-168-68 10'-0" LG. STUDS, 100 FT. OF 600-T-125-54.

7. ANCHORS: $(20) \ 3/4$ "ø x 1'-0" LG. 8. ALL CONTINGENCIES TO BE FABRICATED AND INSTALLED AS DIRECTED BY THE SER.





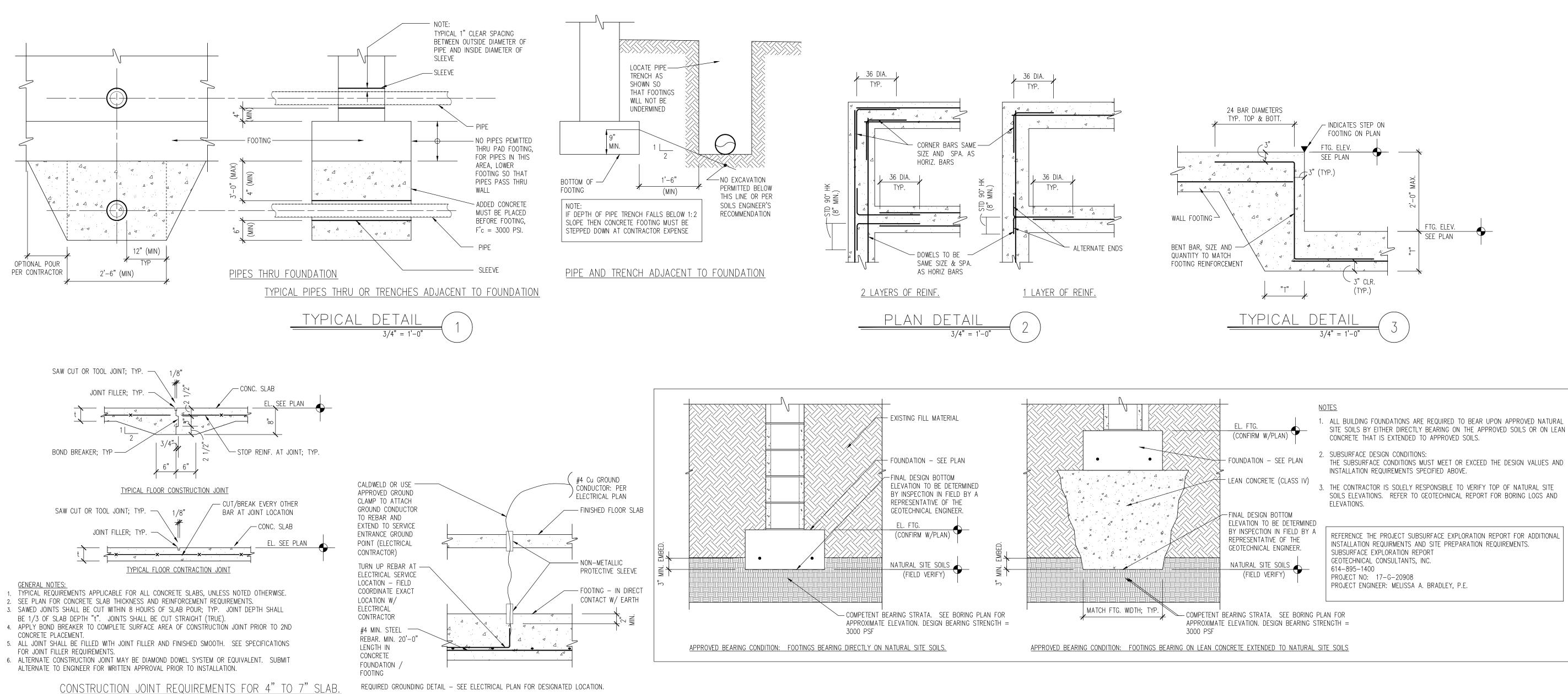


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Sheet Reference:

GENERAL

NOTES



GENERAL NOTES

SEISMIC LOADS.

ROOF TOP UNIT REQUIREMENTS.

A. REFERENCE THE STRUCTURAL DRAWINGS ROOF PLAN, MECHANICAL DRAWINGS, AND ARCHITECTURAL DRAWINGS FOR

THE SPECIFIED ROOF TOP UNIT DEAD LOADS AND ANY ASSOCIATED DRIFT LOADS, OVERTURNING LOADS, AND

GIRDER TRUSSES AND METAL CONNECTOR HANGERS AS REQUIRED TO FRAME OUT THE REQUIRED ROOF OPENING

B. REFERENCE ROOF TOP UNIT MANUFACTURE PRODUCT CUT SHEETS FOR SPECIFIC DIMENSIONAL REQUIREMENTS. . THE PRE-ENGINEERED ROOF TRUSS MANUFACTURER IS RESPONSIBLE TO DESIGN THE ROOF TRUSSES TO SUPPORT

D. THE PRE-ENGINEERED ROOF TRUSS MANUFACTURER IS RESPONSIBLE TO DESIGN AND SUPPLY ALL TRANSFER

G. ROOF TOP UNITS ARE TO BE ANCHORED TO THE ROOF FRAMING PER THE ROOF TOP UNIT MANUFACTURE

E. THE CONSTRUCTION MANAGER IS RESPONSIBLE TO COORDINATE THE FINAL LOCATION OF THE ROOF TOP UNITS,

H. DO NOT PLACE ROOF TOP UNITS ON TRUSS LOCATIONS THAT WERE NOT SPECIFICALLY INDICATED ON THE TRUSS

J. ALL ROOF PENETRATION EDGES ARE TO BE SUPPORTED. INSTALL (2) 2 X 6 BLOCKING w/ MTL. HANGERS EA.

AND TO PROVIDE ROOF GIRDER TRUSS MEMBERS UNDER THE ROOF TOP UNIT CURB.

F. MINIMUM 2-PLY GIRDER TRUSS SUPPORTING ROOF TOP UNIT WEIGHTS GREATER THAN 500 LBS.

ROOF TOP UNIT SPECIFICATIONS, AND ROOF PENETRATION REQUIREMENTS.

MANUFACTURE SHOP DRAWINGS TO SUPPORT THE ROOF TOP UNIT.

GIRDER TRUSS —

MTL. HANGER DESIGNED -

AND SUPPLIED BY ROOF

EXTEND ROOF SHEATHING

ROOF CURB (BY OTHERS) -

CURB ATTACHMENT (BY —

GIRDER TRUSS—

OTHERS)

TRUSS MANUFACTURER.

TO PERIMETER OF

OPENINGS, TYP.

TRUSS

— TRUSS

TYPICAL RTU SUPPORT PLAN DETAIL

TYPICAL RTU SUPPORT SECTION A

____8d @ 4" O.C.

GIRDER TRUSS

-ROOF TOP UNIT

(2) 2 X 6 UNDERSIDE OF ROOF

OPENING. NOT PERMITTED TO

SHEATHING, FRAMING OUT

SUPPORT RTU LOADING.

-SIMPSON HUS26-2 MTL.

HANGER OR EQUAL.

-ROOF PENETRATIONS

---ROOF SHEATHING

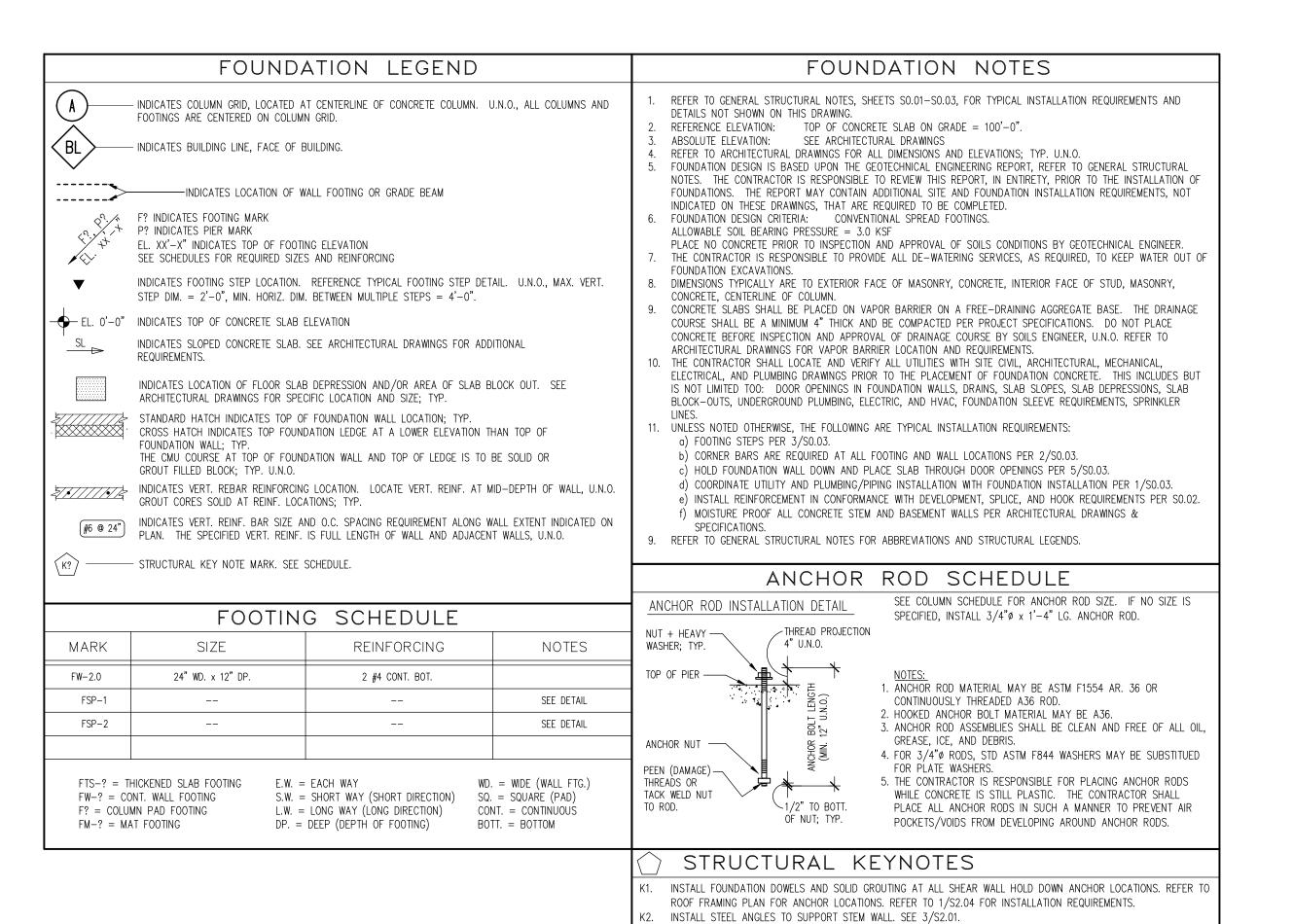


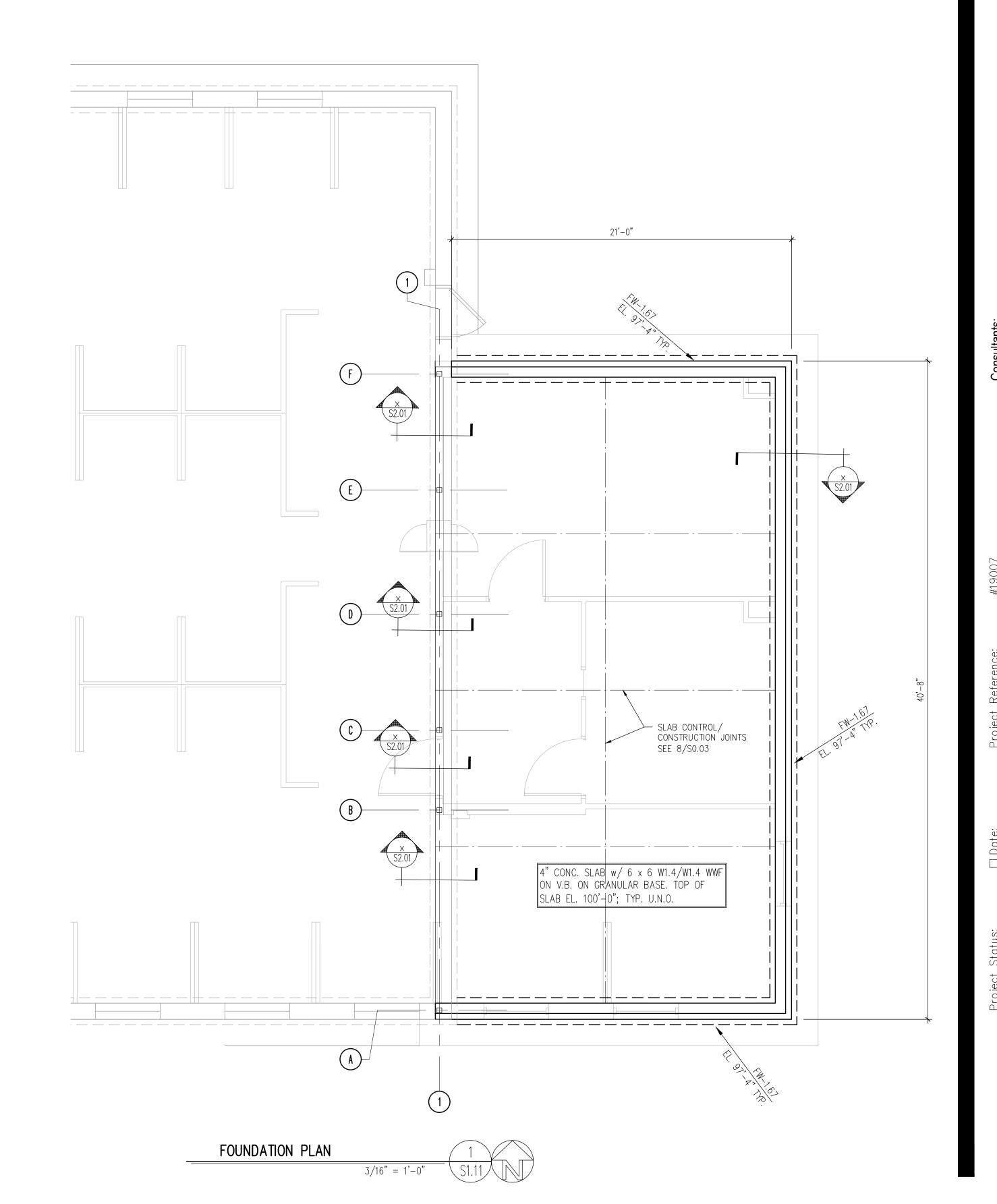
BIRD & BULL, LTD CIVIL ENGINEER WALTERS & ASSOCIATES STRUCTURAL ENGINEER PRATER ENGINEERING ASSOC, INC. PLUMBING, HVAC, ELECTRICAL ENGINEER

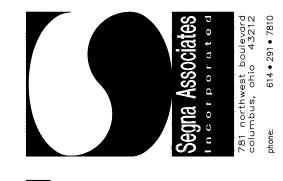
PLANNING & DESIGN PLANNING/DESIGN

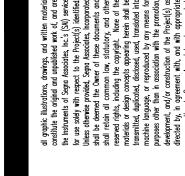
Sheet Reference: **TYPICAL**

DETAILS









GENESIS PLANNING & DESIGN
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WALTERS & ASSOCIATES
STRUCTURAL ENGINEER
PRATER ENGINEERING ASSOC. INC.
PLUMBING, HVAC, ELECTRICAL ENGINEER

ON

BIRD & BULL
CIVIL ENGINE

WALTERS & A
STRUCTURAL

HEMATOLOGY INFO LAB ADDITION 810 JASONWAY AVE. COLUMBUS, OH 43214

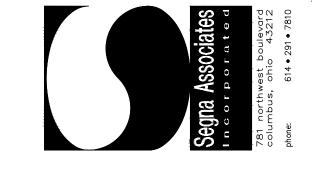
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Sheet Reference:
FOUNDATION
PLAN

S1.11

S ⁻	TEEL COL	UMN	SCHEDULE			RO	OF FRA	MINC	G LEGEND)
ARK SIZE	BASE PLATE	ANCH	OR RODS TYPE	NOTES	A				OF CONCRETE COLUMN.	U.N.O., ALL COLUMNS AND
HSS 8 x 8 x 1/4 1	" x 16" x 16"	(4) 1"ø :	x 18" LG. A		BL	FOOTINGS ARE CENT INDICATES BUILDING				
2 HSS 6 x 6 x 1/4 3	/4" x 12" x 12"	(4) 3/4"	'ø x 14" LG. B			"CA" INDICATES LOC				
HSS 4 x 4 x 1/4 3	/4" x 12" x 12"	(4) 3/4"	'ø x 14" LG. A		1	"PL?" INDICATES PIL	ASTER LOCATION.			
					(+??) -	INDICATES NON-TYP				
S:	ILLE EOD ANGLIOD DO	N T DECLUDE	MENTS		H? —	- INDICATES SPAN DIR		F METAL DEC	KING	
SEE S1.11, FOUNDATION SCHEDULE, FOR ANCHOR BOLT REQUIREMENTS. SEE 8/S2.01, 9/S2.01, 10/S2.01 FOR TYP. BEAM TO COLUMN CONNECTION REQUIREMENTS.					Header Mark. See Schedule. B? ———————————————————————————————————					
EQ. EQ. EQ. EQ.					C? — COLUMN MARK MARK. SEE SCHEDULE.					
* * *	MDTH -	* *	/		₩? —	C.F.M.F. WALL STUD	MARK. SEE SCHE	DULE.		
	○ ↑		T		(K?) —	STRUCTURAL KEY NO MOMENT CONNECTION		CHEDULE.		
1/4 b b 1 1/2"	TYP TYP. >1/4 V	b 3	1 1/2" TYP					\ <u>\</u> \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		G LEGEND
PICAL BASE PLATE ORIENTATION AND RE LESS DETAILED OR NOTED OTHERWISE.	QUIREMENTS	TYPE D	4							
<u>TYPE A</u>		TYPE B				ARE DARKER THA	N BACKGROUND.	REFER TO S	HEAR WALL DETAIL SHEE	TIFIED AS SHADED WALLS TH T S2.04. ALL TO EXTEND TO FACE OF
,	STEEL BE	AM S	CHEDULE		(;; -	ADJACENT OPENIN	NG AND/OR EXTER	IOR EDGE OF	BUILDING CORNER.	
SIZE	ELEVATION (TOP OF STEEL)	₹	NOTES			RO	OF FR	AMIN	G NOTES	
> W16 x 26	. 113'-8 3/8" 15	5k				ER TO GENERAL STRUCTURA	AL NOTES, SHEETS			
> W12 x 16	. 113'-10 7/8" 4	łk			2. DES	10 PS	SF UNIFORM SNOW SF NET UNIFORM L	IPLIFT LOAD		
W12 X 16	. 113'-10 7/8" 4	łk			4. WAL	OF CONSTRUCTION: 1.5B2 LL CONSTRUCTION: CFMF OF STEEL ELEV.: SEE S	2 METAL DECK ON STUDS — SEE SC	I STEEL BAR	JOIST	
> W16 X 26	. 111'-6 1/2" 7	′k			6. REF 7. NO	ER TO ARCHITECTURAL DRA FIELD MODIFICATIONS TO ST	WINGS FOR ALL D TEEL BAR JOISTS	S PERMITTED	. DO NOT CUT, DRILL, C	
> W8 X 24 EL	. 111'-6 1/2" 9)k			8. INS	NGE WITHOUT WRITTEN APPE TALL STEEL FRAMES AT ROO NFORCE JOISTS AT CONCENT	OF OPENINGS PER	1/S2.02.	JR ENGINEER.	
					10. DIM MAS	ENSIONS TYPICALLY ARE TO SONRY, CONCRETE, CENTERL	EXTERIOR FACE	OF MASONRY,	·	·
					11 DLL		TALLIATOINI MILIMIINI	ON DECLIDER	MENITO END LICHT CALICE	ED VIVING INICE VITE VITENIC
					(C.F	ER TO SHEET S2.03 FOR MI F.M.F.). ER TO GENERAL STRUCTURA				
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CONFIRM ALL ELEVATIONS WITH "SL" INDICATES SLOPED BEAM"R" INDICATES UNFACTORED BI CONNECTION ARE TO HAVE A (2) BOLT CONNECTION VALUE.	CONDITION. EAM REACTION IN KIPS MIN. OR (2) 3/4"Ø A3	S. DESIGN BE 325 BOLTS.	REACTIONS NOT SHOWN INDICA		9. REF	TER TO SHEET S2.03 FOR MIF.M.F.). ER TO GENERAL STRUCTURA	STUD SO	BREVIATIONS	AND STRUCTURAL LEGEN	M.F.
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Consultants:

GENESIS PLANNING & DESIGN
INTERIOR PLANNING/DESIGN
BIRD & BULL, LTD
CIVIL ENGINEER
WALTERS & ASSOCIATES
STRUCTURAL ENGINEER
PRATER ENGINEER
PLUMBING, HVAC, ELECTRICAL ENGINEER

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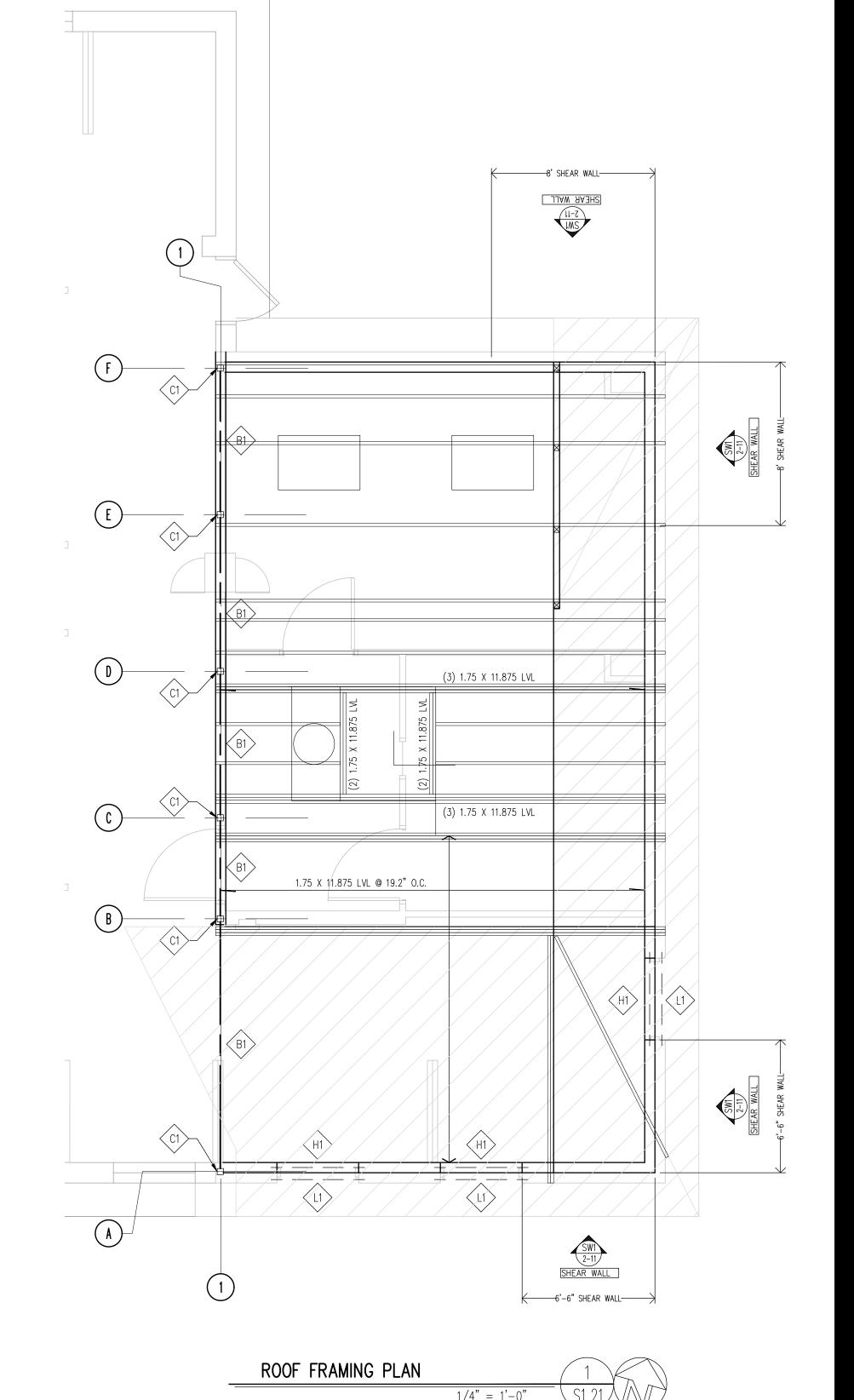
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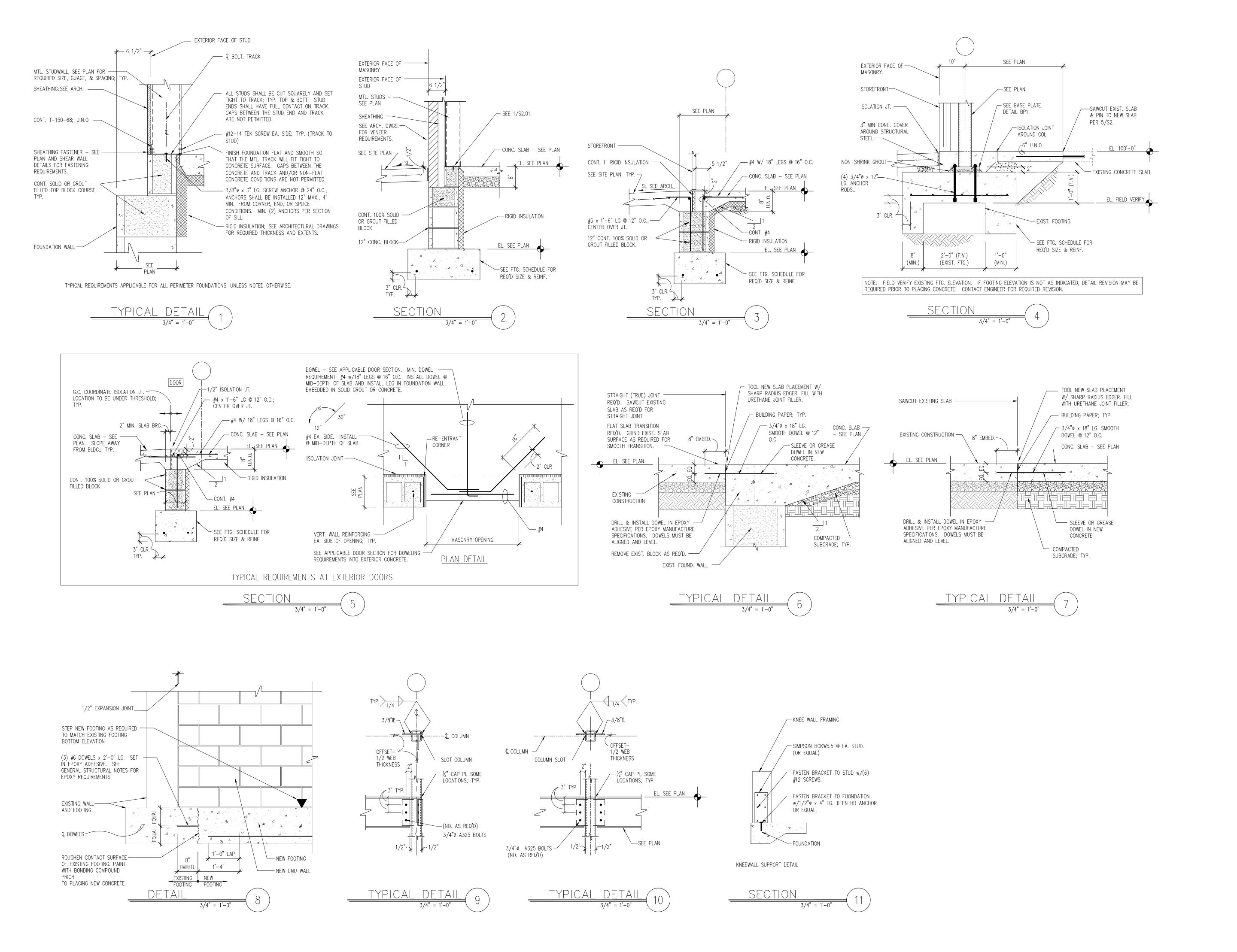
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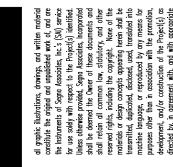
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PRATER ENGINEERING ASSOC. INC.
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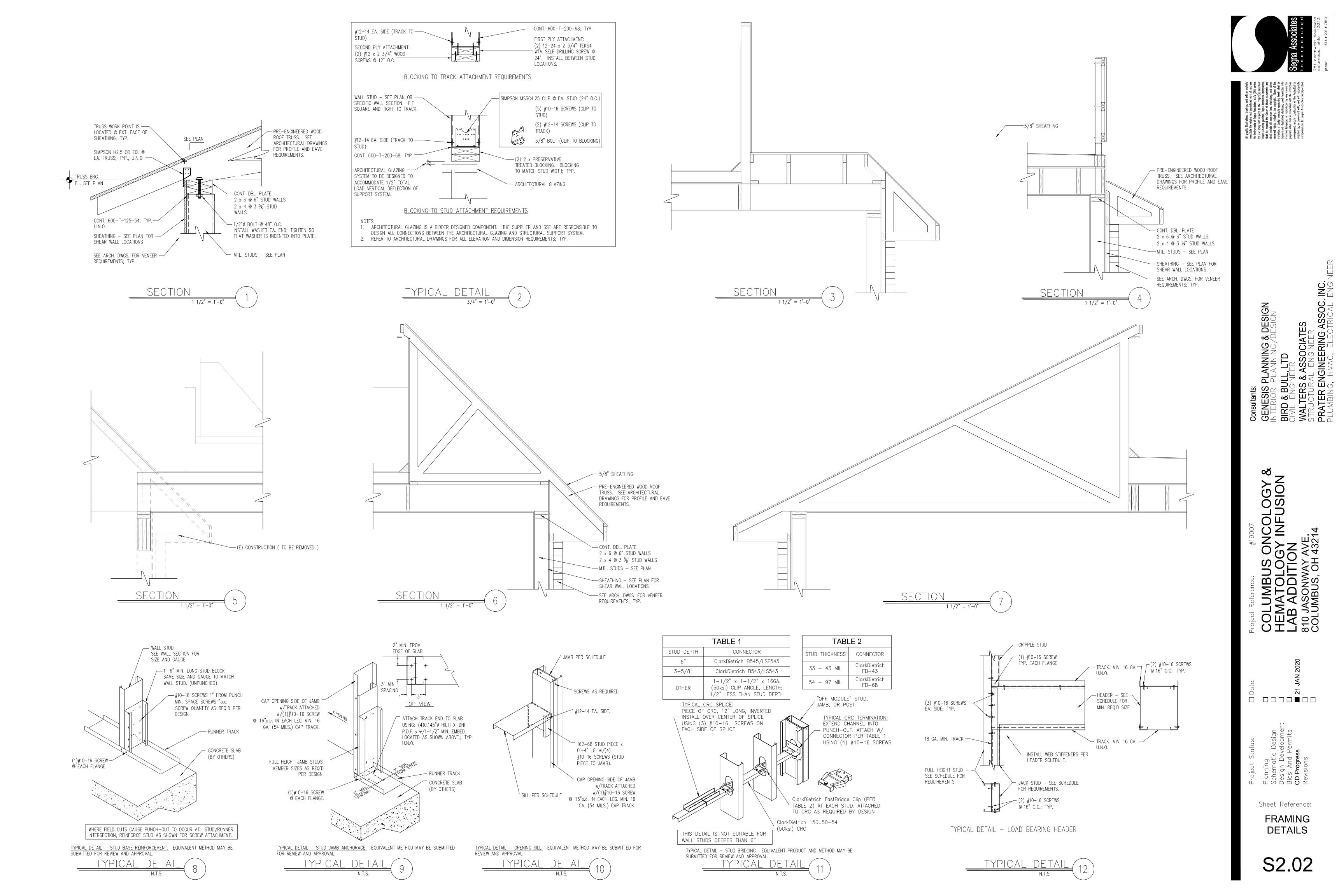
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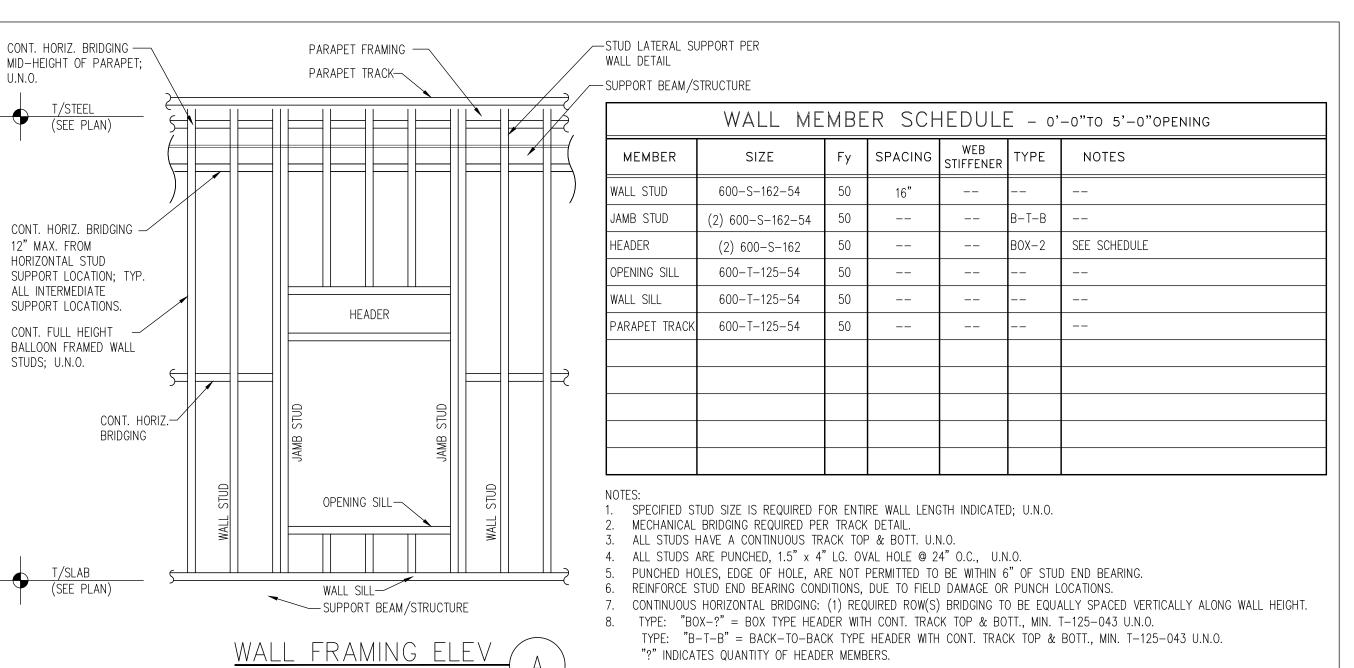
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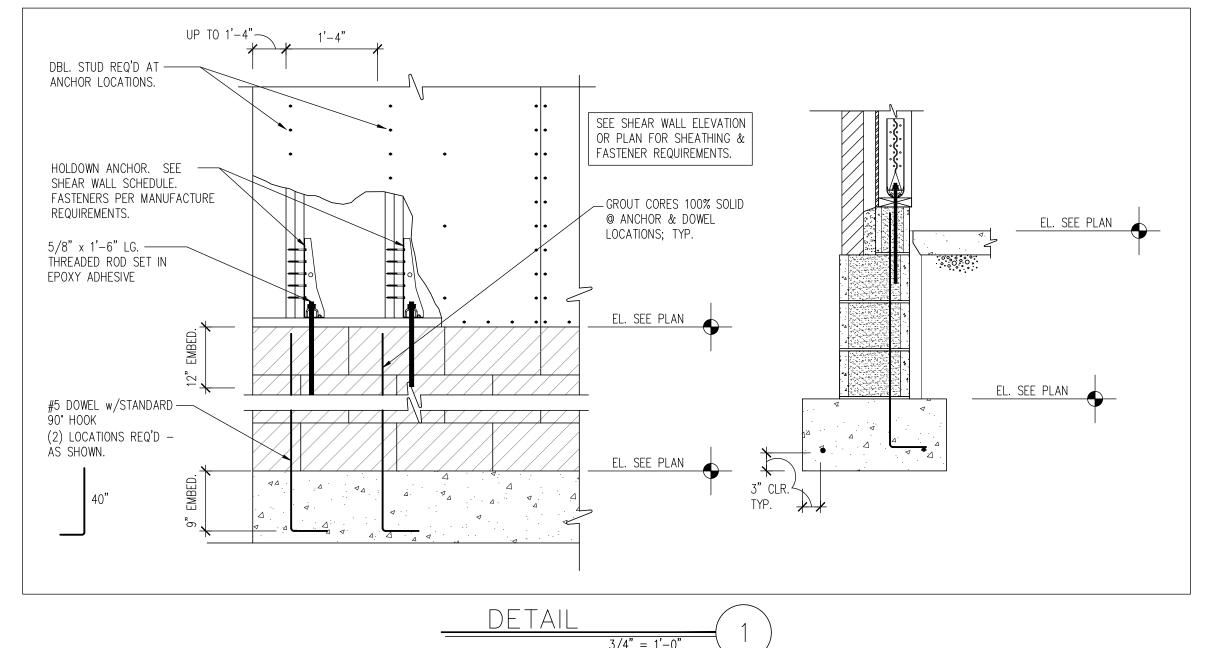
Sheet Reference:
FOUNDATION /
FRAMING

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DETAILS







SHEAR WALL GENERAL NOTES

-NON-LOAD BEARING WALL -INSET WALL CONSTRUCTION

- 1. SHEAR WALL ELEVATION INDICATES SHEATHING AND FASTENER REQUIREMENTS FOR STRUCTURAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR
- FINAL WALL CONSTRUCTION REQUIREMENTS. 2. THE CONTRACTOR IS SOLELY RESPONSIBLE TO SCHEDULE AND COORDINATE ALL SHEATHING INSTALLATION ACCORDINGLY.
- 3. THE CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE REQUIRED LOCATIONS OF EXTERIOR GRADE GYPSUM BOARD AND MOISTURE RESISTANT
- GYPSUM BOARD LOCATIONS. REFERENCE ARCHITECTURAL DRAWINGS. 4. THE SPECIFIED STEEL SHEET SHEATHING IS REQUIRED TO BE INSTALLED DIRECTLY TO METAL STUDS. THE STEEL SHEET SHEATHING IS NO PERMITTED TO BE INSTALLED OVER GYPSUM BOARD SHEATHING AND/OR FIRE RATED SHEATHING. AT THE CONTRACTORS OPTION, A COMPOSITE SHEATHING PRODUCT CONSISTING, IN PART OF STEEL SHEET, MAY BE SUBSTITUTED FOR THE SPECIFIED STEEL SHEET SHEATHING. THE STEEL SHEET GAUGE SHALL MEET OR EXCEED THE GAUGE SPECIFIED ON THE SHEAR WALL ELEVATIONS.
- 5. EXAMPLE PRODUCT: SURE-BOARD AS MANUFACTURED BY THE CIMCO COMPANY (www.sureboard.com).

APPROVED FASTENERS: GYPSUM BOARD ONLY:

6. STEEL SHEET:

a) STANDARD DRYWALL SCREWS

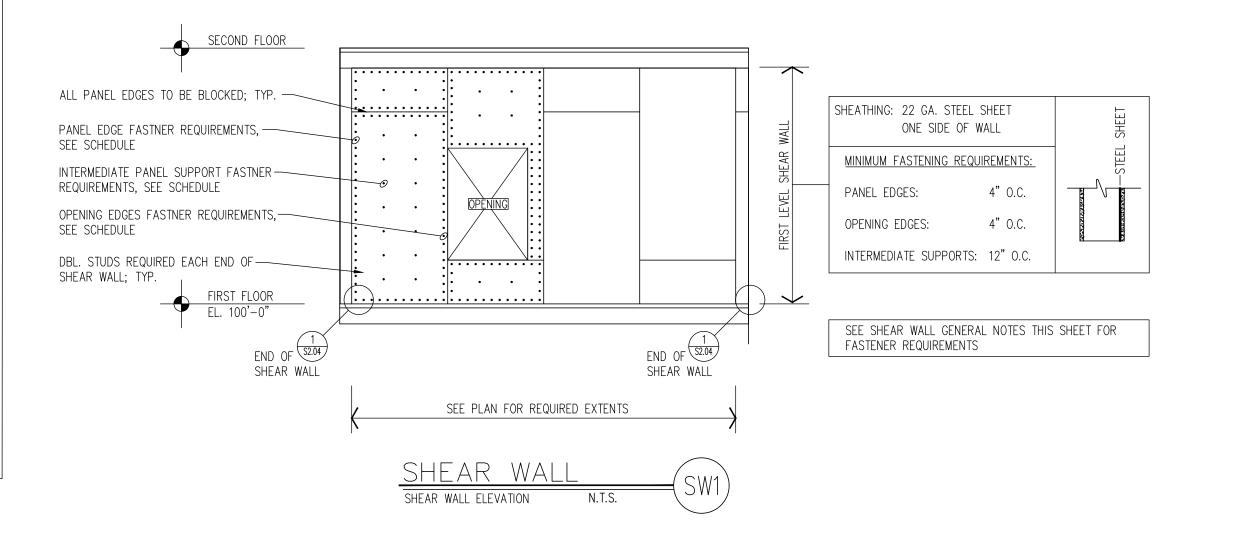
b) 0.120" DIAMETER STANDARD DRYWALL NAILS

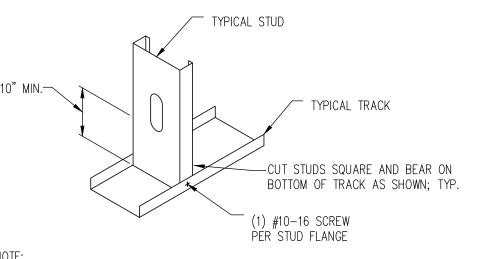
a) SELF DRILLING/TAPPING PILOT POINT, TRUSS HEAD OR PAN HEAD SCREWS - MIN. NO. 6 SHANK DIAMTER (0.138") - MINI. 0.3145" HEAD DIAMETER'

 MIN. 1 1/4" LENGTH - SAE J78, ASTM C954 COMPLIANCE

SCREWS FASTNER MUST BE FLUSH WITH PANEL SURFACE AND PENETRATE INTO THE COLD-FORMED STEEL FRAMING MEMBER A MINIMUM OF THREE EXPOSED THREADS. FASTENER MUST BE INSTALLED AT A MINIMUM 3/8" EDGE DISTANCE.

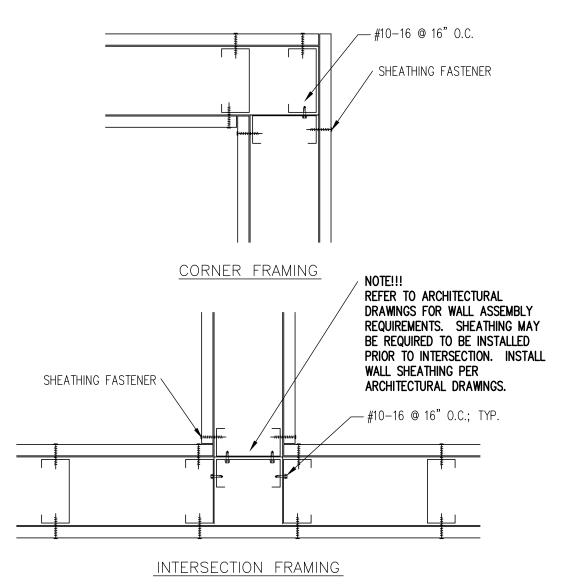
b) INSTALL BUGLE HEAD SCREWS AT SURE-BOARD LOCATIONS (COMPOSITE SHEATHING).



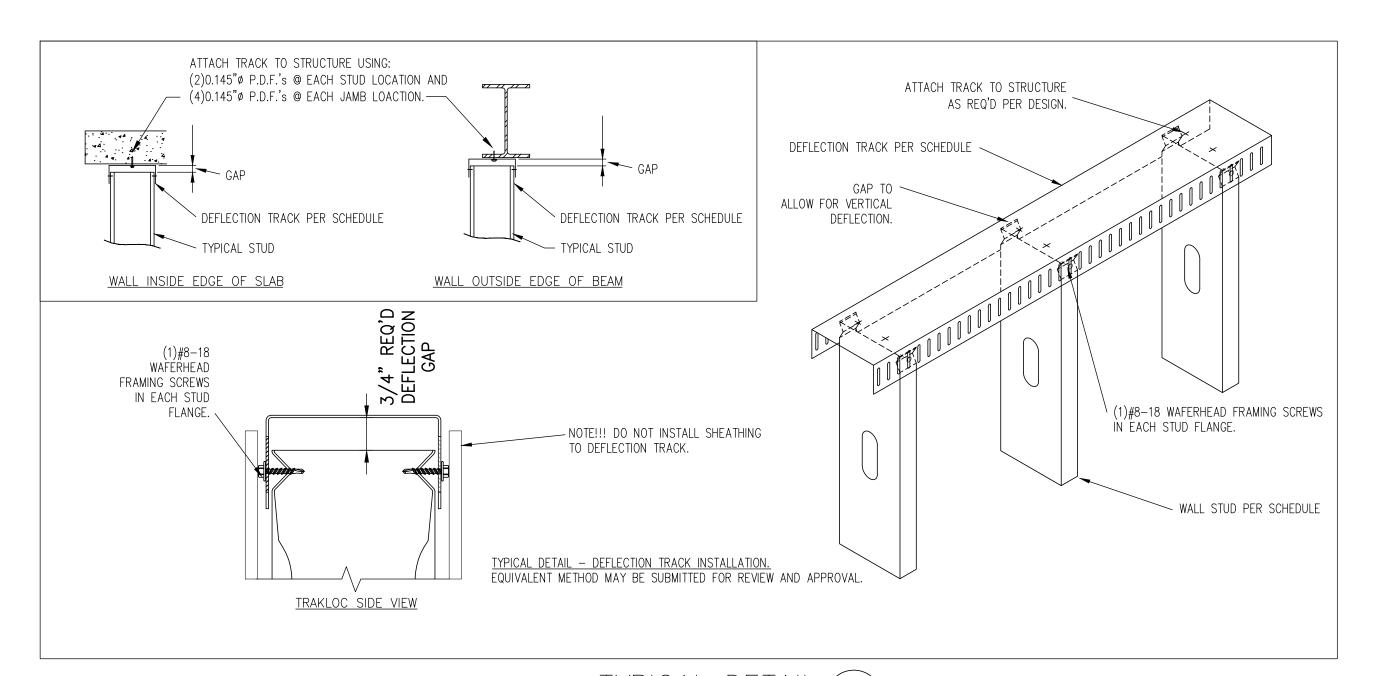


INSTALL STUDS WITH SAME FIRST KNOCKOUT DIMENSION FOR TYPICAL BRIDGING ALIGNMENT (IF REQUIRED).

TYPICAL DETAIL - STUD BASE CONNECTION. EQUIVALENT METHOD MAY BE SUBMITTED FOR REVIEW AND APPROVAL.



TYPICAL DETAIL - MIN. WALL STUD FRAMING REQUIRMENTS AND WALL INTERSECTIONS. EQUIVALENT METHOD MAY BE SUBMITTED FOR REVIEW AND APPROVAL.



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FRAMING DETAILS