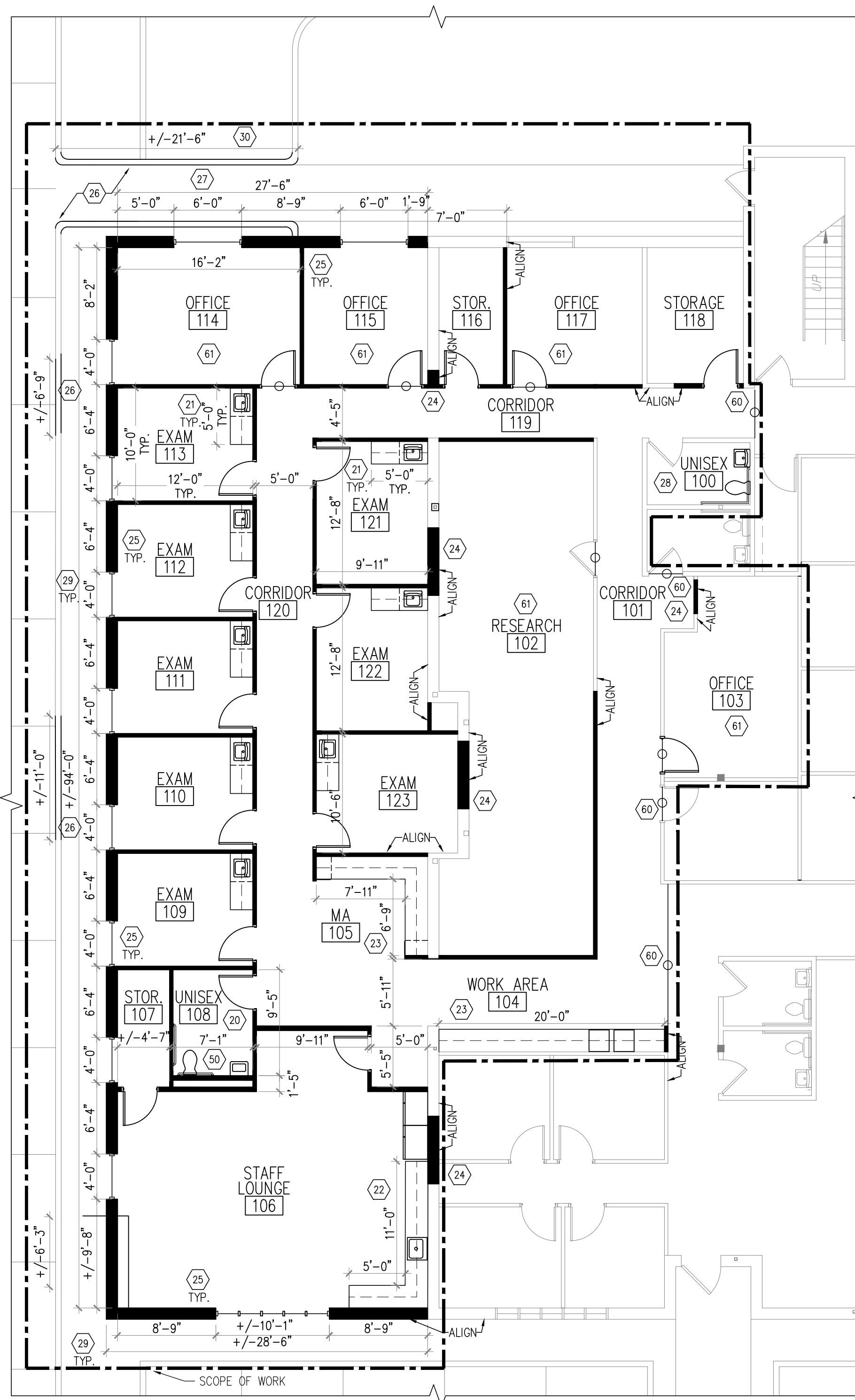


1 DEMOLITION PLAN
A1-1 1/8"=1'-0"



1 CONSTRUCTION PLAN
A1-1 1/8"=1'-0"

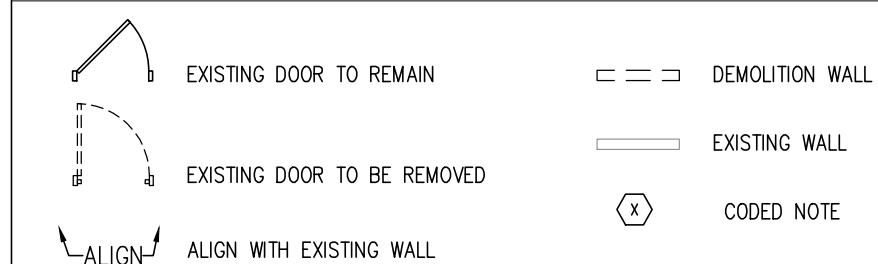
DEMOLITION PLAN GENERAL NOTES

- REMOVE ALL DASHED ITEMS WITHIN SCOPE OF WORK
- KEEP ALL EXISTING WINDOW COVERINGS, CONTRACTOR TO PROTECT DURING CONSTRUCTION
- KEEP EXISTING DOORS, HARDWARE AND FRAMES TO BE REUSED AND RELOCATED
- COORDINATE WITH BUILDING TO KEEP OR DISPOSE OF ANY UNUSED DOORS, HARDWARE AND FRAMES
- FIELD VERIFY ALL DIMENSIONS
- REMOVE CORNER BEADS FROM EXISTING CORNERS WHERE NEW WALL WILL BE INSTALLED
- REMOVE GYPSUM BOARD BACK TO SEAM WHERE NEW WALL WILL ALIGN TO EXISTING WALL

DEMOLITION KEYNOTES (X)

- DEMO WALL OPENING FOR NEW DOOR AND FRAME. MATCH STANDARD DOOR ROUGH OPENING DIMENSIONS.
- REMOVE PATIO FENCING, CONCRETE SLAB, ROOF, SUPPORTS AND ALL OTHER PATIO ITEMS NOT NEEDED IN THE EXPANSION AREA.
- REMOVE EXTERIOR BRICK, PREPARE FOR NEW GYPSUM BOARD
- REMOVE SIDEWALK AND/OR A PORTION OF THE CURB
- REMOVE GLASS AND/OR DOOR AND FRAME
- REMOVE GLASS, FRAME AND WALL TO PROVIDE NEW CORRIDOR
- REMOVE ASPHALT
- RELOCATED EXISTING CONDENSATE UNITS

SYMBOL KEY



DOOR HARDWARE NOTE

- CONTRACTOR TO INSPECT ALL EXISTING DOORS. CLEAN TOUCH UP AND REPAIR ANY DISTRESS TO MINIMIZE VISIBILITY OF DAMAGE
- ALL DOOR HARDWARE TO BE ADA COMPLIANT
- ALL EGRESS DOORS TO REMAIN UNSECURED ON EGRESS SIDE

CONSTRUCTION PLAN GENERAL NOTES

- CONTRACTOR TO CONTAIN DUST AND DEBRIS
- SKIM WALLS AND COLUMNS THAT ARE EXISTING TO REMAIN THAT HAD EXISTING WALLCOVERING TO A LEVEL 4 FINISH
- PATCH AND REPAIR ABANDONED POWER AND TELECOMMUNICATION JACKS.
- CONTRACTOR TO FINISH DRYWALL TO THE FLOOR.
- FLOORING TO BE CUT CLOSE TO WALL TO AVOID GAPS.
- PREPARE WALLS AND COLUMNS TO APPLY NEW BASE.
- CONTRACTOR TO PROTECT, INSPECT, SERVICE AND CLEAN WINDOW COVERINGS AS NECESSARY
- PATCH OR REPAIR EXISTING GWB WALL SURFACES AS REQUIRED
- ANY QUESTIONS AND/OR CONCERNS ARE TO BE DIRECTED TO DESIGNER
- REUSE EXISTING DOORS AND FRAMES WHERE POSSIBLE
- NEW FINISHES ARE TO MATCH EXISTING MATERIALS
- ADD NEW DRYWALL TO WALLS WHERE BRICK WAS REMOVED

PARTITION TYPES

- ALL PARTITIONS SHALL BE PARTITION TYPE 1 (3-5/8" METAL STUDS (22 GAUGE) AT 16" O.C. WITH 1/2" TYPE 'X' GYP. BOARD ON EACH SIDE WITH 3-1/2" SOUND ATTENUATION, EXTEND WALL 6" ABOVE CEILING AND BRACE TO STRUCTURE ABOVE), UNLESS NOTED OTHERWISE.
- NEW EXTERIOR PARTITIONS TO BE CONSISTENT WITH EXISTING
- PARTITION TYPE 2 (42" H - 3-5/8" METAL STUDS WITH 3/8" GYP. BOARD EACH SIDE WITH 2X6 WOOD CAP FINISH)
- PARTITION TYPE 3 (3-5/8" METAL STUDS (22 GAUGE) AT 16" O.C. WITH 1/2" TYPE 'X' GYP. BOARD ON EACH SIDE WITH 3-1/2" SOUND ATTENUATION, EXTEND TO STRUCTURE ABOVE, THICKNESS OF WALL MAY VARY)

CONSTRUCTION PLAN KEYNOTES (X)

- PROVIDE AND INSTALL NEW BUILDING STANDARD ADA RESTROOM FIXTURES
- PROVIDE AND INSTALL NEW CASEWORK AND SINK, SIMILAR TO EXISTING EXAM ROOMS
- PROVIDE AND INSTALL NEW STANDARD KITCHEN CASEWORK AND SINK, FINISHES TO BE CONSISTENT WITH EXISTING MATERIALS
- PROVIDE AND INSTALL NEW CASEWORK, STANDING HEIGHT 36"
- FILL IN OPENING
- NEW EXTERIOR PARTITION AND WINDOWS TO BE CONSISTENT WITH EXISTING
- INSTALL NEW CONCRETE CURB, MATCH EXISTING
- EXTEND EXISTING CONCRETE SIDEWALK
- PROVIDE AND INSTALL NEW BUILDING STANDARD RESTROOM FIXTURES
- EXTERIOR LANDSCAPE AND MULCH TO BE CONSISTENT WITH EXISTING CONDITIONS
- REPAIR PARKING LOT AS REQUIRED

CEILING GENERAL NOTES

- PROVIDE BUILDING STANDARD CEILING TILE, GRID AND LIGHT FIXTURES
- CEILING ARE INDEPENDENT THROUGHOUT

REFLECTED CEILING PLAN KEYNOTES (X)

- INSTALL DRYWALL CEILING IN RESTROOM

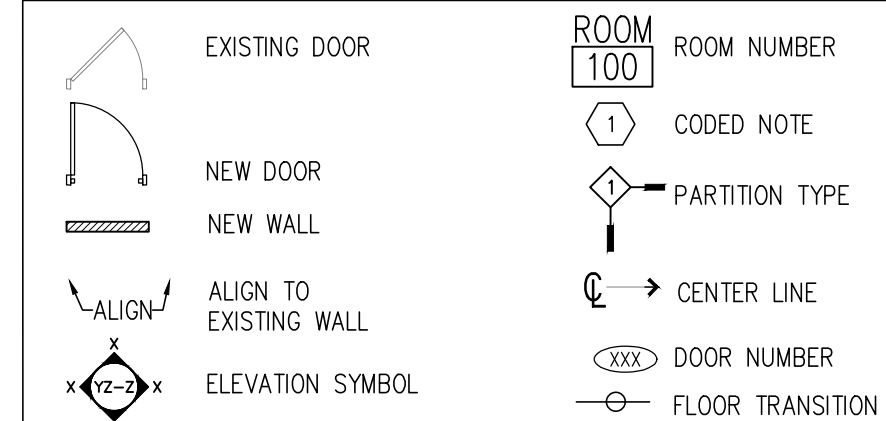
FINISH GENERAL NOTES

- FLOORING AND FLOORING PATTERN TO MATCH EXISTING

FINISH PLAN KEYNOTES (X)

- FLOORING TRANSITION FROM EXISTING TO NEW
- PROVIDE AND INSTALL NEW CARPETING, MATCH EXISTING

SYMBOL KEY

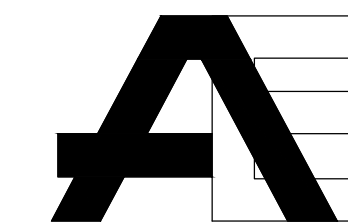


FIRE EXTINGUISHER NOTE (F)

- INSTALL BLDG STANDARD (CABINET OR WALL HUNG) FIRE EXTINGUISHER
- ALL FIRE EXTINGUISHERS TO NFPA APPROVED 10LB. MULTI-PURPOSE (CLASS A, B.&C)
- WALL FIRE EXTINGUISHER TO BE SECURED ON WALL MOUNTED BRACKETS MOUNTED WITH THE CARRYING HANDLE TO BE AT 48" A.F.F.



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PROJECT:

COLUMBUS ONCOLOGY
FIRST FLOOR
810 JASONWAY AVENUE
COLUMBUS, OH 43214

SHEET:

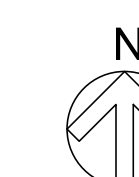
PRICING PLAN-
EXAM AREA
EXPANSION

SCALE:

AS NOTED

ISSUE / REVISION	DATE
PRICING PLAN	02/19/2019

DRAWN BY: KTF CHECKED BY: JCM



A1-1