

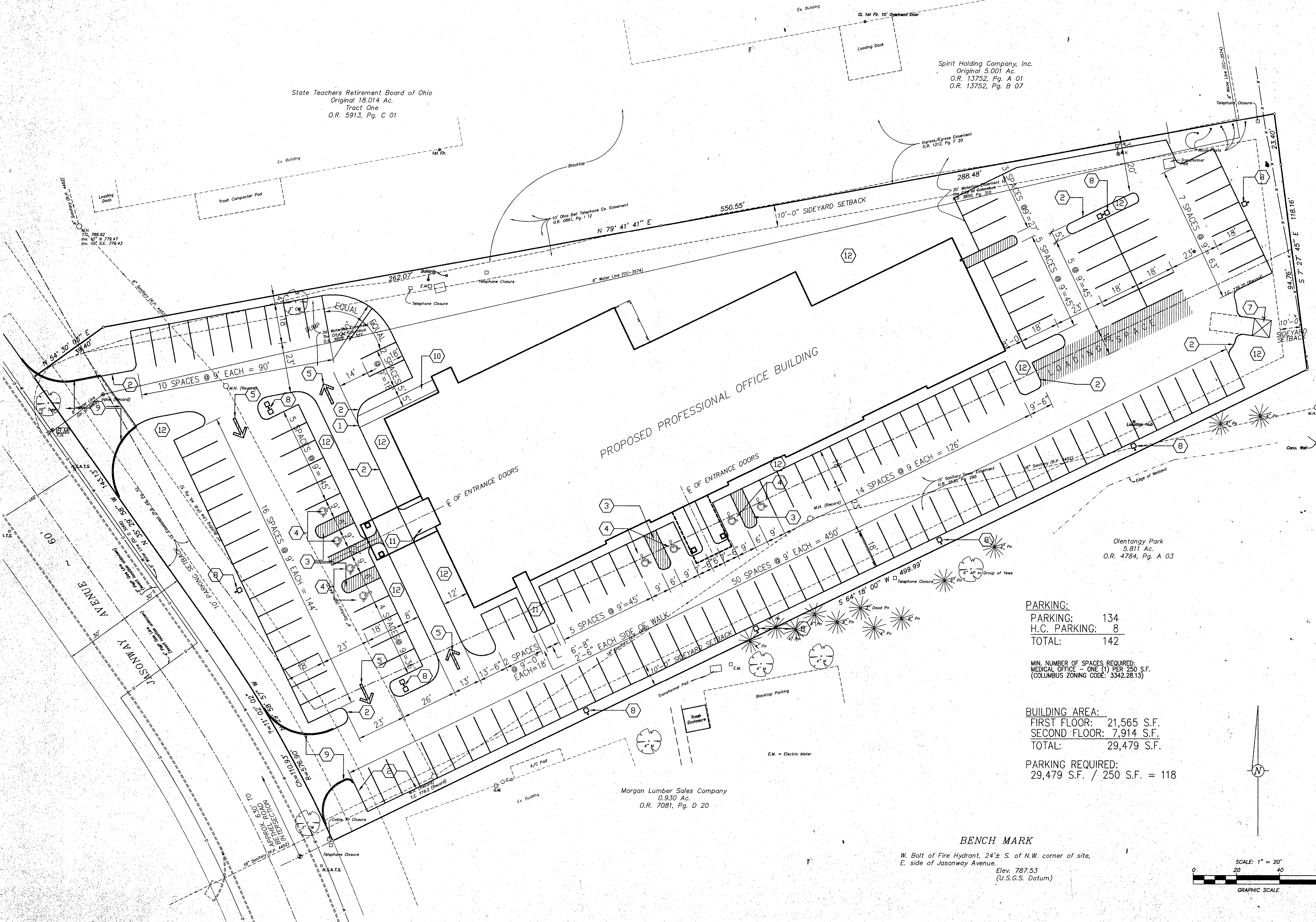
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PROJECT #	95062-01	PROJECT MANAGER	DLAB
DATE	7-1-1996	DRAWN BY	MMP
SCALE	1" = 20'	REVIEWED BY	DLAB

- GENERAL NOTES:**
- PROPERTY IS ZONED: C-2
 - ALL WORK IS TO BE EXECUTED IN CONFORMANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES.
 - THE GENERAL CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS, THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT.
 - THE GENERAL CONTRACTOR IS TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES WITH RESPECTIVE UTILITY COMPANIES. ANY UTILITY LINES NOT TO BE INCLUDED IN THE FINAL CONSTRUCTION PLAN ARE TO BE TERMINATED PER UTILITY COMPANY SPECIFICATIONS.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING WALLS, AND IN PARKING AREAS TO CATCH BASINS AND/OR STORM WATER RETENTION LOCATIONS.
 - SITE LIGHTING IS TO COMPLY WITH SECTION 3342.12 OF THE COLUMBUS ZONING CODE.
 - IN THE FINAL LANDSCAPE PLAN, ONE (1) SHADE TREE WILL BE PROVIDED FOR EVERY TEN (10) PARKING SPACES IN COMPLIANCE WITH SECTION 3342.11 OF THE COLUMBUS ZONING CODE.

- CODED NOTES:**
- 1 CONCRETE CURB/SIDEWALK; REFER TO DETAIL
 - 2 ASPHALT CURB; REFER TO DETAIL
 - 3 PAINTED STRIPE, TYPICAL
 - 4 PAINTED INTERNATIONAL ACCESS SYMBOL, TYPICAL
 - 5 PAINTED ARROW
 - 6 PAINTED STEEL BOLLARD: 1'-0" DIAMETER X 6'-0" LONG STEEL POST EMBEDDED 2'-6" BELOW GRADE AND CONCRETE-FILLED WITH FLAT TOP
 - 7 DUMPSTER ENCLOSURE; REFER TO DETAILS ON SHEET SP-2
 - 8 POLE-MOUNTED LIGHT FIXTURE; REFER TO DETAIL
 - 9 CONCRETE CURB & APRON
 - 10 4" THICK REINFORCED CONCRETE WALK
 - 11 CONCRETE RAMP
 - 12 GRASSED AREA



PARKING:

PARKING:	134
H.C. PARKING:	8
TOTAL:	142

MIN. NUMBER OF SPACES REQUIRED:
 MEDICAL OFFICE - ONE (1) PER 250 S.F.
 (COLUMBUS ZONING CODE: 3342.28.13)

BUILDING AREA:

FIRST FLOOR:	21,565 S.F.
SECOND FLOOR:	7,914 S.F.
TOTAL:	29,479 S.F.

PARKING REQUIRED:
 29,479 S.F. / 250 S.F. = 118

NO.	REVISION DESCRIPTION	DATE
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<p>JASONWAY</p>		
<p>SHEET TITLE</p>		<p>SHEET NO.</p>
<p>SITE PLAN</p>		<p>SP-1</p>

